

GALLERY PARK, MESA

DESIGN GUIDELINES

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1.0 PROJECT VISION

The following chapter will include:

- 1.1 Introduction
- 1.2 What does it look like
- 1.3 What does it feel like
- 1.4 What does it include
- 1.5 The Park
- 1.6 The Art Program

1.1 INTRODUCTION

GALLERY PARK... A VISION FOR SOMETHING GREAT

With a deep appreciation for the importance of placemaking and a desire to create authenticity through thoughtful building design, the developers of Gallery Park have conceived what will soon prove to be the southeast valley's most endearing mixed-use lifestyle center. The area's finest culinary experiences, specialty retail and family friendly entertainment blend with Class 'A' office around imaginatively designed open spaces that invite artistic expressions and experiences. A fresh and welcomed destination for meaningful community interaction, Gallery Park will become a regional draw to the residents of Mesa, Gilbert, Chandler, Queen Creek and the San Tan Valley.

Whether patrons grab breakfast or a coffee on their way to work, enjoy a convenient lunch, visit with co-workers at happy hour, or toast with friends and loved ones at one of Gallery Park's many chef-driven culinary mainstays, the project's out-of-the box beverage and dining collection will provide a welcome alternative to a market starved for creativity, originality and an elevated dining experience.

For a lucky few, Gallery Park will serve as home. Whether staying overnight at one of its hotels, living within the richly amenitized luxury apartment homes, or owning an urban inspired residence above the vibrant main street core, Gallery Park's options to rest and reside will set a new standard for the east valley. For businesses and corporations who recognize the benefits of personal wellness and happiness of its employees, the project's integrated hotel and residential offerings may prove invaluable when deciding to also call Gallery Park their home.

Gallery Park's prominence on the Loop 202 San Tan freeway at the intersection of Power Road, positions the project to serve as a landmark for those traveling in and out of the Phoenix Mesa Gateway Airport as well those visiting the ASU Polytechnic campus due south of the site. The high visibility at this intersection also provides a unique opportunity to promote both the office and restaurant tenants situated along the freeway, as well as those deeper into the site. Such freeway presence, seldom afforded to those without a larger regional or national footprint, will enhance the project's brand awareness while promoting the unique mixed-use offering that can only be found at Gallery Park.



1.2 WHAT DOES IT LOOK LIKE



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1.3 WHAT DOES IT FEEL LIKE



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1.4 WHAT DOES IT INCLUDE



1.4 WHAT DOES IT INCLUDE

Land Use Tabulations ⁽¹⁾⁽²⁾

Land Uses	Commercial		
	Areas (SF)	No. of Rooms	No. of Units
Commercial Land Uses			
Retail	39,450		
Restaurants	69,500		
Theater/Entertainment			
Building 19 (shown as Theater) ⁽³⁾	47,500		
Office			
Freeway (two 120,000 SF 4-story buildings)	240,000		
Interior (two 54,000 SF 3-story buildings)	108,000		
Hotel			
Hotel 1 (4 or 5-story)		140	
Hotel 2 (4 or 5-story)		140	
Residential - Multi-Family			
Apartments (4-story at south end of site)			420
Condominiums (two levels over commercial along "Main Street")			39
Plan Totals ⁽⁴⁾ (per preliminary site plan) ⁽¹⁾	504,450	280	459

(1) Uses and square footages shown are per site plan at the time the Design Guidelines were prepared. Square footage by sub-use/building to be adjusted based upon demand and user/tenant requirements. The Plan Totals and allocation to be adjusted based upon actual leasing and individual user/tenant requirements.

(2) In order to provide flexibility with regard to the ultimate use of Building 19, as well as to accommodate changes in the size of other buildings on the site, the Developer may approve the deletion of, increase in size/rooms/units, change in use or relocation of any building on the site (together "Approved Changes") so long as the resulting totals for "Commercial Area (SF)", "No. of Rooms" and "No. of Units" do not exceed the Plan Totals shown above (subject to change/increase based upon provided parking⁽⁴⁾). Any such Approved Changes require the written approval of the Developer, in its sole and absolute discretion, which may be withheld for any reason. Approved Changes are still subject to all design review requirements and compliance with all City, State and Federal rules, regulations and requirements.

(3) At the time the Design Guidelines were drafted, Building 19 was envisioned to be a theater. For the purposes of the square footage calculation in this table, the square footage shown is that of a single-story building. Other uses for this building could include single or multi-story retail, restaurants, fitness, office or hotel, all of which could have one or more floors of residential above. The mix of land uses on Building 19 shall need to be determined based upon available parking and the impact on the shared parking model, which should be revisited at that time.

(4) If additional parking is provided in excess of the proposed minimum quantities reflected on the site plan and in the Parking Study, the Developer may increase any or all of the Plan Totals quantities in order to accommodate additional density, so long as the Plan Total of the Commercial Areas (SF) (as may be adjusted for actual commercial areas built on restaurant and retail lots) can still be accommodated on the site without the need to integrate subterranean parking.

1.5 THE PARK

At the end of Gallery Park’s tree lined urban style main street, visitors will find the southeast valley’s newest community destination. Covered with shade from colonnades of mature date palms and sculptural shade canopies, The Park offers a variety of seating options throughout this thoughtfully designed outdoor space (which will be constructed as part of the phase that includes Lot 17 and/or Lot 18).

Central to The Park, a 900 square foot splash pad with over 30 dancing bubblers is a child’s dream come true. This water feature is situated near the center of The Park, in a depressed focal area that provides steps and benches for casual seating opportunities around its perimeter. The Sweet Spot next door provides the kid in everyone with tempting treats such as ice cream to compliment a warm day, or hot cocoa to accompany a chilly evening. A stage anchors the east side of The Park and becomes a venue for weekend community events, movies in the park, or evening concerts hosted by one of the nearby restaurants. The tiered lawn along the west edge of The Park provides seating for parents watching their children play in the splash pad, teenagers Instagramming with friends, or community residents enjoying a weekend concert.

Gallery Park’s art program takes center stage here where art installations from young, local artists are featured every month in six different locations throughout The Park. Every Friday and Saturday night, professional artists will entertain patrons with live art sessions. Out of town artists will be invited to share their creativity with the local community during special events. The Gallery, just to the north of the stage, is envisioned to be part Art and part street cafe, providing both a more formal venue for collections to be displayed and a stop along the art walk for those who wish to grab a refreshing beverage or snack.

The Park’s splash pad, interactive and ever-changing art exhibits, live music, performing arts presentations and special events will provide a program offering and place to gather, that will result in Gallery Park becoming a regular destination for those in the greater southeast valley. Gallery Park’s pulse is at The Park.



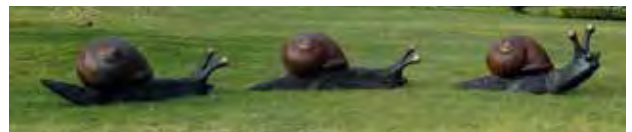
1.6 THE ART PROGRAM

Art in the name, Gallery Park, becomes the art in the place. Gallery Park’s mix of uses take shape in an eclectic collection of new and old architectural styles, each thoughtfully considered with attention to detail, the contrast of which produces an authentic aesthetic scene and the canvas for an integrated community art experience.

Art comes to life at Gallery Park. Art encounters are programmed throughout Gallery Park’s lifestyle experience. Whether driving by on the Freeway or an arrival flight to the airport, glimpses of multi-story murals immediately convey that something distinctive and special is happening in the southeast valley. Located at opportune moments throughout the project, these building paintings, commissioned by the development team and conceived by local artists, animate Gallery Park’s new urban context and become the new, hip backdrop for a teenager’s Instagram page or a family’s Holiday card. These colorful, thought-provoking installations become the prologue of a multi layered art event experienced throughout the site.

Shaded pedestrian pathways connect people to retail, restaurant, hotel and office destinations throughout the site. Owners and tenants who call Gallery Park home each participate in the art program by sponsoring collections within their own space or commissioning pieces that become permanently installed as part of the outdoor art experience. Whether a static sculpture that draws the eye, a kinetic sculpture that moves with the wind, or installations that come to life through human interaction, all invite photo opportunities and become part of Gallery Park’s public art experience.

Gallery Park’s new art walk takes shape in the heart of this new lifestyle development. Here where couples dine, and children play, the southeast valley community will gather every month to see new works displayed at carefully considered locations within The Park. In consultation with City of Mesa, local nonprofits and curators, submissions will be evaluated from aspiring artists including those attending valley schools, and six artists will be selected to showcase their art within The Park’s outdoor environment. Gallery Park Art Walk will occur the first Friday of each month where these new works are unveiled for viewing and remain open all month for the public to experience.



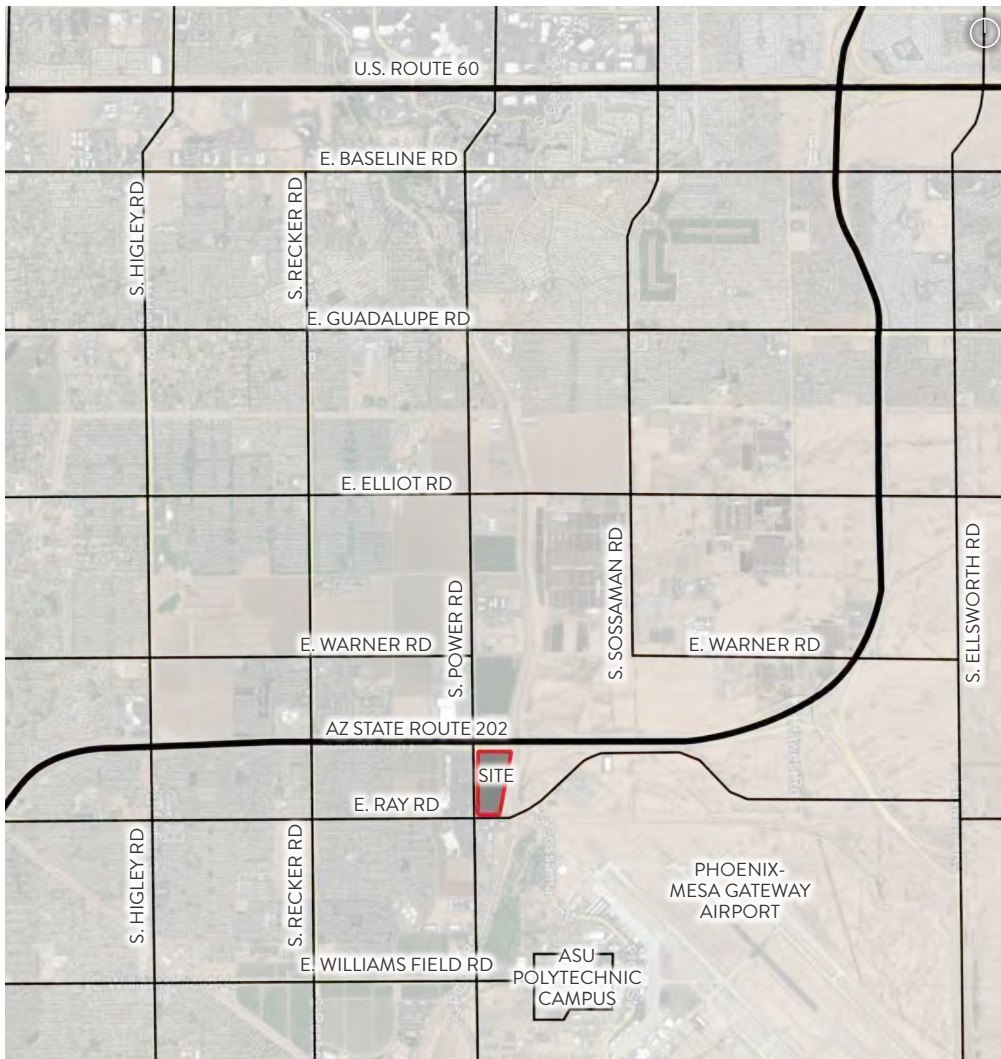
2.0 SITE INFORMATION

The following chapter will include:

- 2.1 Vicinity Map
- 2.2 Context Site Aerial
- 2.3 Illustrative Site Plan
- 2.4 Vehicular Circulation
- 2.5 Pedestrian Circulation
- 2.6 Subdivision Lot Plan
- 2.7 Setback Table

2.1 VICINITY MAP

The site is located on an approximate 40 acre parcel just west of the Phoenix-Mesa Gateway Airport. The site is bound on the north by Arizona SR 202, Ray Road on the south and Power Road on the west. This great confluence of major vehicular roadways provides enough exposure and access to make the a perfect landing spot to a wide variety of uses.



2.2 CONTEXT SITE AERIAL



2.3 ILLUSTRATIVE SITE PLAN



2.4 VEHICULAR CIRCULATION



2.5 PEDESTRIAN CIRCULATION



2.6 SUBDIVISION LOT PLAN



Gallery Park will be subdivided into 28 separate lots, some of which may be sold to different owners who specialize in the development and operations of the asset class being proposed on the lot. The map and table below reflect the proposed subdivision lot plan and associated areas based at the time the Design Guidelines were approved. As the final approved subdivision plat shall take precedence over the plan below, Lot Owners and prospective buyers of lots/buildings, should see the final recorded subdivision plat for the most accurate information.

LOT AREA CALCULATIONS

Lot No. (Land Use)	Lot Area
Building 1 (Restaurant)	61,770.27 S.F. 1.42 AC.
Building 2 (Restaurant w/ Drive-Thru)	54,563.10 S.F. 1.25 AC.
Building 3 (Restaurant w/ Drive-thru)	27,594.00 S.F. 0.63 AC.
Building 4 (Restaurant)	18,405.84 S.F. 0.42 AC.
Building 5 (Restaurant)	32,937.19 S.F. 0.76 AC.
Building 6 (Restaurant)	38,175.26 S.F. 0.88 AC.
Building 7 (Retail)	31,551.14 S.F. 0.72 AC.
Building 8 (Restaurant w/ Drive-Thru)	27,017.51 S.F. 0.62 AC.
Building 9 (Restaurant w/ Drive-Thru)	19,574.56 S.F. 0.45 AC.
Building 10 (Retail)	13,742.20 S.F. 0.32 AC.
Building 11 (Restaurant w/ Drive-Thru)	38,956.52 S.F. 0.89 AC.
Building 12 (Bank w/ Drive-Thru)	35,172.81 S.F. 0.81 AC.
Building 13 (Retail)	58,847.59 S.F. 1.35 AC.
Building 14 (Retail)	54,501.70 S.F. 1.25 AC.
Building 15 (Condos over Commercial)	75,719.43 S.F. 1.74 AC.
Building 16 (Condos over Commercial)	100,404.48 S.F. 2.30 AC.
Building 17 (Restaurant)	26,105.68 S.F. 0.60 AC.
Building 18 (Restaurant)	27,712.67 S.F. 0.64 AC.
Building 19 (Theater)	110,127.75 S.F. 2.53 AC.
Building 20 (Residential)	278,142.02 S.F. 6.39 AC.
Building 21 (Hotel 1)	95,283.35 S.F. 2.19 AC.
Building 22 (Office)	131,152.59 S.F. 3.01 AC.
Building 23 (Office)	78,261.65 S.F. 1.80 AC.
Building 24 (Hotel 2)	49,554.32 S.F. 1.14 AC.
Building 25 (Office)	70,495.30 S.F. 1.62 AC.
Building 26 (Office)	80,354.84 S.F. 1.84 AC.
Building 27 (Parking)	97,809.87 S.F. 2.25 AC.
Lot 28 (Park)	18,341.62 SF. 0.42 AC.
Total	1,752,275.29 S.F. 40.23 AC.

2.7 DEVELOPMENT STANDARDS/ SITE PLANNING GUIDELINES

Development standards and Site Planning Guidelines for Gallery Park are in conformance with the Mesa Zoning Ordinance and modifications described and approved in Gallery Park PAD.

3.0 ARCHITECTURAL DESIGN GUIDELINES

It is the purpose of GALLERY PARK and its Design Guidelines to ensure the current and future value of the development by implementing the following strategies:

- 3.1 Architectural Vision
- 3.2 Building Styles
- 3.3 Materials
- 3.4 Design Element Requirements
- 3.5 Color Palette
- 3.6 Key Design Considerations

3.1 ARCHITECTURAL VISION

With a nod to the architects of yesteryear who honored the art of building design and the importance of place making, Gallery Park’s development team has established an architectural design ethos that encourages artistic creativity, the use of authentic materials and the creation of welcoming spaces for people to gather. Respecting the balance between authenticity and the desire to achieve building character that can only come from decades of existence, patina techniques may be used where appropriate to generate a pleasing contrast of old and new.

From this design ethos, Gallery Park’s image and architectural directives are born. Heritage, Warm Modern, and Adaptive Reuse become the styles prescribed for use at Gallery Park. Although these styles may refer, by name or description, to a known architectural movement or building category, these references should be considered unique descriptors for the allowable “Building Styles” within Gallery Park. These Building Styles, as illustrated by the photos on the following pages, along with the established set of materials and design elements will together produce a rich contextual palette which tenants and patrons want to occupy, experience and explore.



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3.1 ARCHITECTURAL VISION



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3.2 BUILDING STYLES

3.2.1 HERITAGE

Heritage applies an older aesthetic to new buildings with turn of the century inspired details and materials appropriate for a more pedestrian scale context. Characteristics of this style include:

- Use of brick masonry, stucco (EIFS), concrete, painted metal or wood storefront system
- Variations in brick coursing (Running, Stacked, Soldier, English, Flemish)
- Use of paint over brick masonry or stucco, may be sand blasted to achieve a weathered aesthetic
- Cornices at tops of parapets, above or around storefronts/glazing, and/or wainscot height
- Frieze elements above storefronts to accommodate signage
- Awnings at tops of windows to introduce shade and opportunities for accent color
- Column pop outs with capital elements
- Antique accent lighting above signage or at columns between windows



3.2 BUILDING STYLES

3.2.1 HERITAGE



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3.2 BUILDING STYLES

3.2.2 WARM MODERN

Warm Modern introduces a contemporary language of pure, abstract forms the starkness of which becomes balanced with the use of warm materials. Characteristics of this style include:

- Emphasis on the use of simple, abstract rectangular forms and cantilevered or folded planes.
- Use of horizontal and vertical lines such as well-defined planes and vertical forms juxtaposed against horizontal elements for dramatic effect.
- Relationships between interior spaces and adjacent exterior spaces with the use of large expanses of glass.
- Use of modern materials and systems such as steel, block, concrete and limestone in exposed applications.
- The use of ornament is eliminated, such as decorative cornices or trims, giving way to a clean aesthetic where materials meet in simple, well-executed joints.
- Whites, creams and light gray primary building colors with warm, approachable accent or secondary colors such as light golden brown, orange and yellow. Hues of gray to black may serve as accent and steel colors.
- The integration of wood is encouraged as a warming accent.



3.2 BUILDING STYLES

3.2.2 WARM MODERN



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3.2 BUILDING STYLES

3.2.3 ADAPTIVE REUSE

Adaptive Reuse achieves its characteristics by deliberately juxtaposing new elements within an older context.

- Turn of the century styles are combined with modern abstract forms.
- Structure is left exposed to show that older walls have been removed to create open space.
- The use of ornament is encouraged, such as decorative cornices or trims, to contrast with modern raw aesthetic.
- Traditional materials used in traditional ways can also be used in simplified ways with newer materials to create contrast with a modern aesthetic.
- Emphasis on honesty of raw materials. Wood is often stained, concrete can be exposed, and metal awnings are common.
- Use of paint over brick masonry or stucco can be further weathered to achieve an older aesthetic.
- Brighter saturated colors can be used to paint elements and create contrast next to warmer more traditional materials.
- Divided window systems communicate the character of old warehouses, while roll up garage doors bring the outside in.



3.2 BUILDING STYLES

3.2.3 ADAPTIVE REUSE



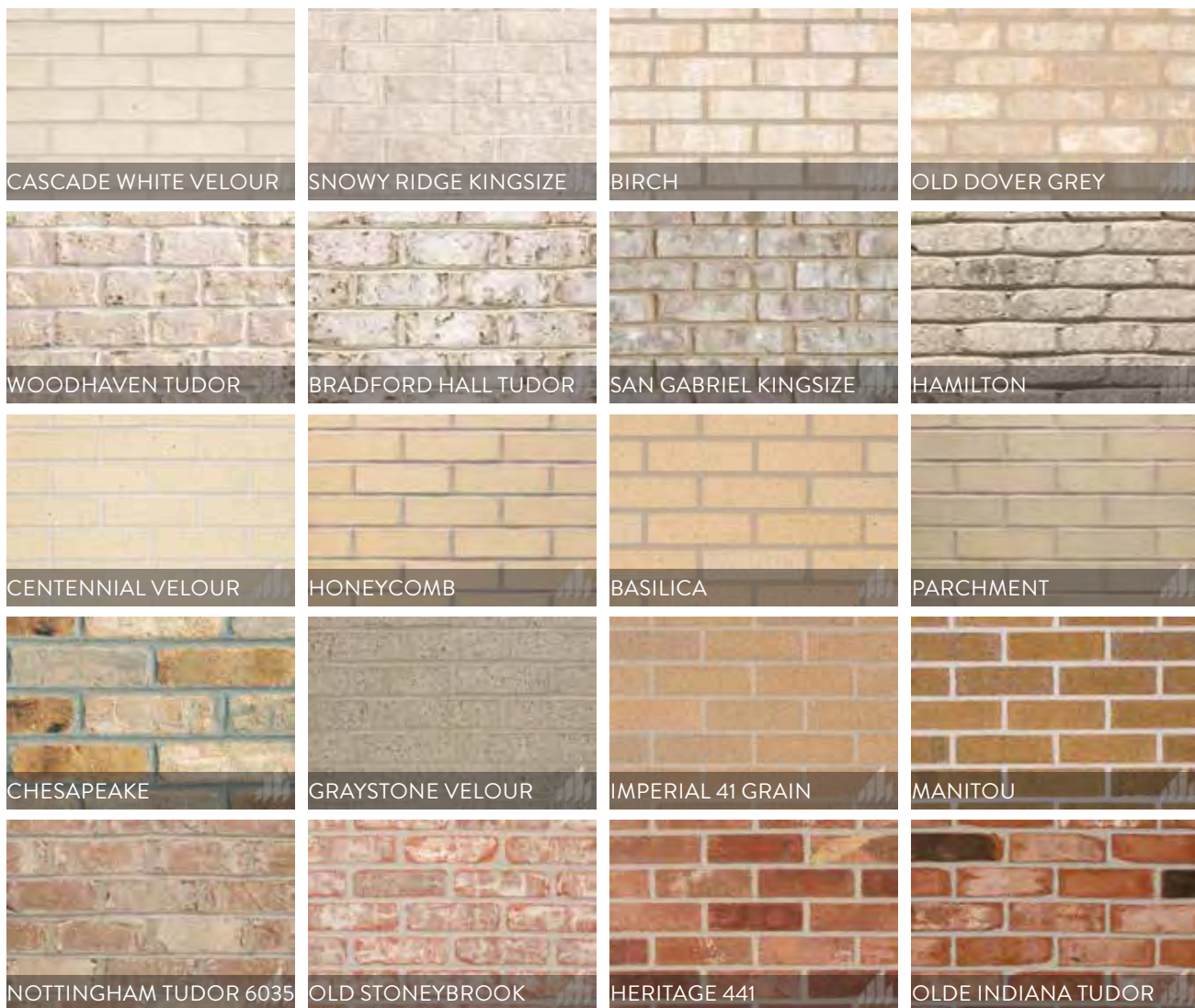
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3.3 MATERIALS

3.3.1 BRICK

The following brick options (manufacturer: General Shale) are approved for use within Gallery Park. In addition to the options listed below, the use of reclaimed brick may be considered. Please submit a sample for consideration. Careful, craftsman-like attention to detail is required at all connections and transitions to other materials. Edge details must prevent visible unfinished edges, and as a general rule, brick should not terminate at outside corners. Thought must be given to creating a logical terminus of brick that creates the appearance of authentic construction, i.e., turn the corner and die the brick into a pop-out. If using thin-brick, corner pieces must be used to create the appearance of full brick.



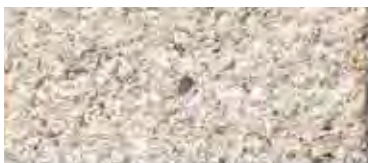
3.3 MATERIALS

3.3.2 DECORATIVE MASONRY

The following decorative masonry options (manufacturer: Echelon) are approved for use within Gallery Park. In addition to the options listed below, the use of standard grey masonry block may be used for mural wall applications where the entire wall is painted. Echelon monumental masonry and honed Trendstone units are also approved in these colors.

Careful, craftsman-like attention to detail is required at all connections and transitions to other materials. Edge details must prevent visible unfinished edges.

TRENWYTH MASONRY BLOCKS: MESASTONE



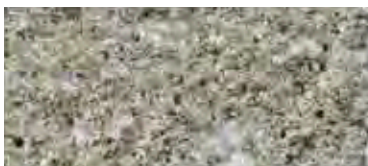
MISSION WHITE



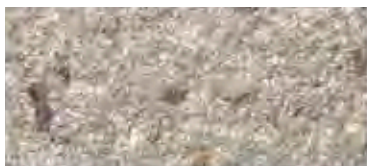
PEBBLE BEACH



PEARL



DURANGO



MALIBU SAND



SOUTHWEST GOLD

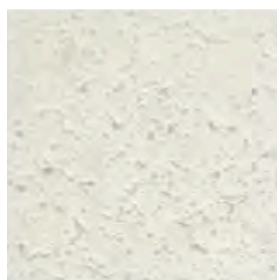
TRENWYTH MASONRY BLOCKS: CORDOVA STONE (GROUND FACE ONLY)



BUFF



LIMESTONE



ALABASTER

3.3 MATERIALS

3.3.3 NATURAL STONE

Natural Limestone must be protected against staining and discoloration by means of appropriate sealants. Monolithic limestone panels, as shown below, are strongly encouraged with polished, sandblasted, or honed finishes. Acceptable installation patterns are illustrated below.



LIMESTONE



RUNNING BOND



STACKED BOND



OFFSET BOND



COURSED ASHLAR BOND

3.3 MATERIALS

3.3.4 CONCRETE

Cast-in-place, board-formed and precast architectural concrete as illustrated below are acceptable materials.



CAST-IN-PLACE



BOARD FORMED



PRECAST

3.3 MATERIALS

3.3.5 WOOD

Wood is best used in locations with minimal weather exposure, and the wood used must be kiln dried, mill quality, and specified clear with no knots and minimal imperfections. Care should be used with wood in exterior applications due to the environmental wear on the material. Clear preservative sealants shall be applied to natural woods to maintain and protect their finish in this environment. Synthetic composite systems such as Resysta, Trespa, or Prodema may be used as an alternative to natural wood. Acceptable wood and finish tones shall match RESYSTA wood colors illustrated below.



3.3 MATERIALS

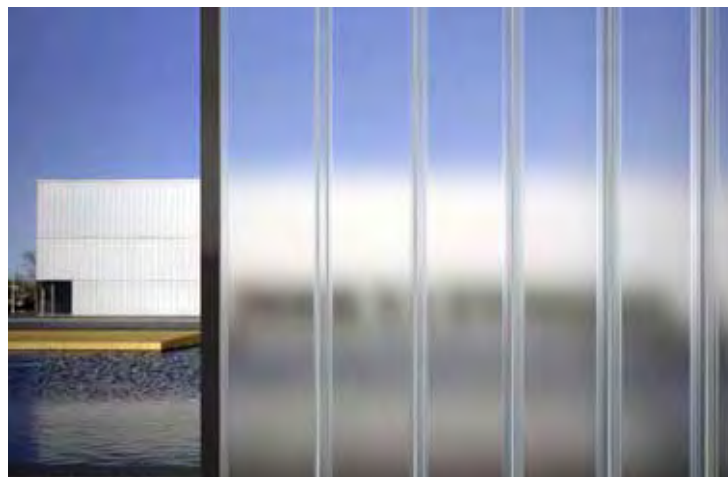
3.3.6 GLASS

Glass is vital for interior–exterior dialogue, and therefore should be carefully considered to optimize uses. Ground level glazing on Primary Streets shall have a visible transmittance (VT) of 0.6 or greater. Glazing at the pedestrian level in ground level retail and restaurants shall be clear so that goods and spaces display true to their color.

Highly reflective surfaces (reflectivity greater than 35%) are not allowed, specifically along freeway frontages and at the pedestrian level. High performance coatings are suggested to allow maximum visible transmittance with minimal heat gain. Dipped or heavily colored glazing is not allowed.

The following types of glazing are permitted:

- Clear
- Tinted (greys and blues)
- Frosted
- Channel Glass



3.3 MATERIALS

3.3.7 METAL WALL & ROOF PANELS

Metal panels shall be limited to the following materials listed below. Roof and wall panels shall be flat standing or concealed seam systems with seams no more than 16 inches apart and of sufficient gauge to withstand oil-canning. Longer seam spacing is acceptable in composite metal panel systems. Corrugated metal panels are not acceptable.



WEATHERED COPPER



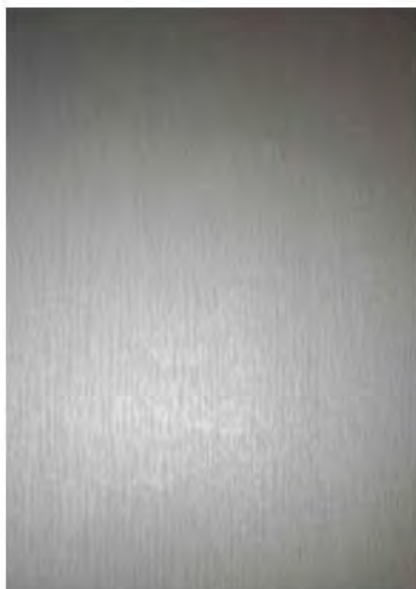
CORTEN STEEL



ZINC



METAL - DARK GREY



METAL - LIGHT GREY



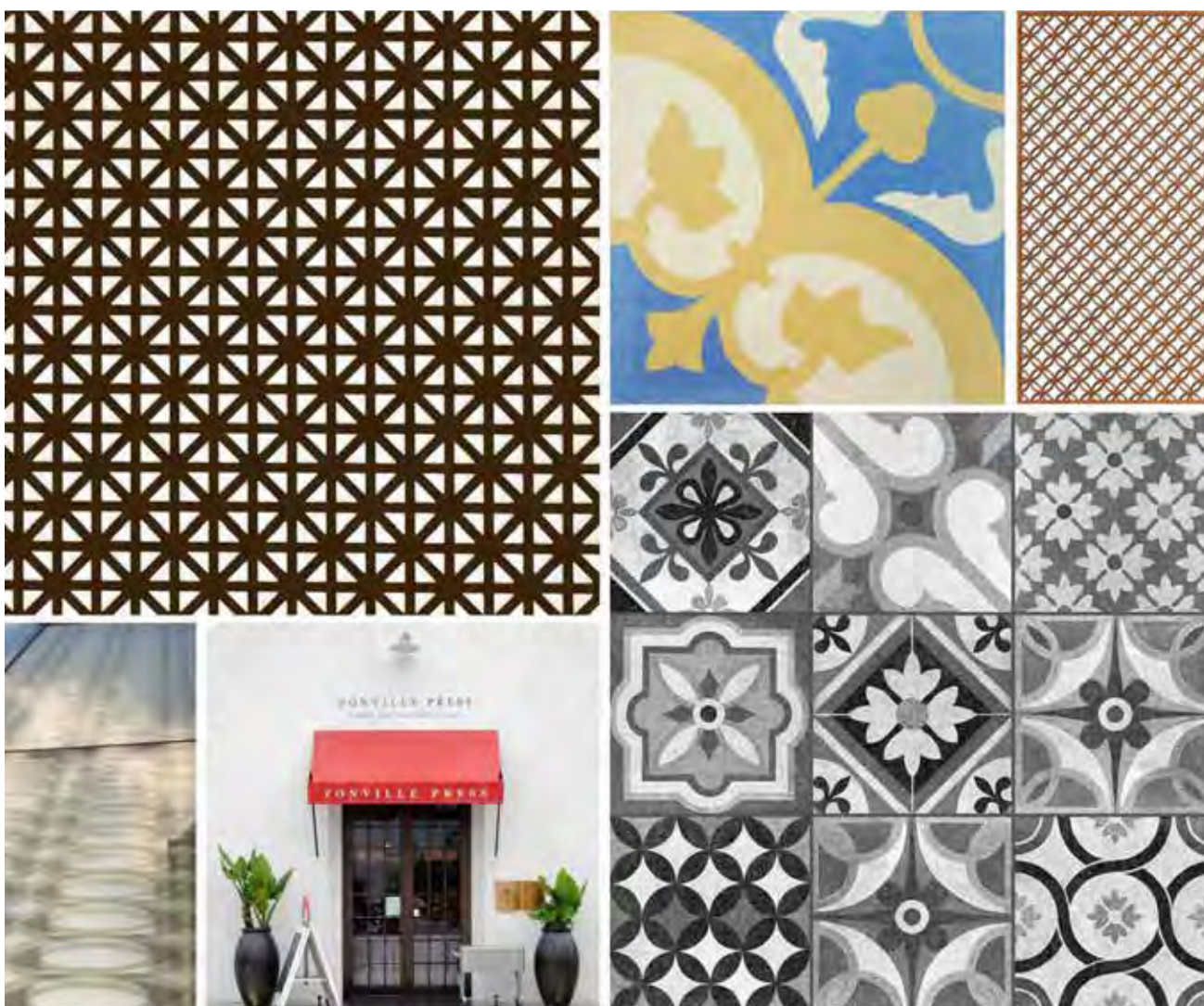
ANODIZED ALUMINUM

3.3 MATERIALS

3.3.8 LIMITED FINISH MATERIALS

Gallery Park’s desire to maintain an elevated design aesthetic recognizes that customization and special details become part of the overall character. Limited Finish materials allow owners and users rich opportunities to weave their signature elements into Gallery Park’s design aesthetic. Colored encaustic tile, fabric awnings, ornamental metals, and etched glass are material examples whose limited use provides additional richness. These materials should be used with restraint, as accents and/or in limited applications.

Provide images or samples of these materials with the design review submittal package.



3.4 DESIGN ELEMENT REQUIREMENTS

3.4.1 DESIGN ELEMENT REQUIREMENTS BY LOT

Each of the Building Styles (Heritage, Warm Modern and Adaptive Reuse) utilize one or more of four common materials (“Special Materials”) that help communicate and reinforce the architectural character of the Style. In an effort to enrich the architectural appeal of Gallery Park, six defined “Architectural Features” as well as three landscaping treatments (“Special Plantings”) have been established within the Design Guidelines. These Special Materials, Architectural Features, and Special Plantings, together with The Art Program requirements set forth in 1.6, form the “Design Element Requirements” for Gallery Park.

If a building is constructed on a Lot, the Lot Owners/Developers are required to satisfy the Design Element Requirements set forth for each Lot. When determining an appropriate Building Style for a specific lot, individual Lot Design Element Requirements should be considered, along with the photo/rendering examples of each Building Style. The following table lists the design requirements by Lot 1, and the [footnotes on the following page](#) provide additional clarification.

Legend: **R** = requirement **RC** = requirement choice⁽¹⁾ **FR**⁽²⁾ = req'tm limited to focal elements⁽⁶⁾ **E** = encouraged⁽⁸⁾ **A** = allowed⁽²⁾⁽⁸⁾ **N** = not allowed

CATEGORIES		SPECIAL MATERIALS ⁽³⁾					ARCHITECTURAL FEATURES					SPECIAL PLANTINGS			ART PROGRAM			
LOT	ANTICIPATED LAND USE ⁽⁷⁾	Brick	Decorative Masonry	Natural Stone	Wood ⁽⁴⁾	% ⁽⁴⁾	Large Overhangs	Wood Soffits	Entry Statement or Volume	Upper Balcony or Deck	Decorative Screening ⁽⁴⁾	2+ Building Styles	Upper Level Plants or Trees	Vines Growing on Walls	Date Palms Accenting Entry	Murals ⁽⁴⁾⁽⁵⁾	Galleries	Permanent Outdoor Art ⁽⁵⁾
1	Restaurant - Freestanding	RC	RC	RC	RC	50%	A	A	R	A	A	A	RC	RC	RC	RC	E	RC
2	Restaurant - Freestanding	RC	RC	RC	RC	50%	A	A	R	A	A	A	RC	RC	RC	RC	E	RC
3	Restaurant - Freestanding	RC	RC	RC	RC	50%	RC	RC	RC	N	RC	N	N	N	N	N	N	R
4	Multi-Tenant Shops	RC	RC	RC	RC	40%	RC	RC	N	N	N	RC	N	A	N	R	N	N
5	Restaurant - Freestanding	RC	RC	RC	RC	50%	A	A	R	A	A	A	RC	RC	RC	R	E	E
6	Restaurant - Freestanding	RC	RC	RC	RC	50%	A	A	R	A	A	A	RC	RC	RC	R	E	E
7	Multi-Tenant Shops	RC	RC	RC	RC	40%	RC	RC	N	N	N	RC	N	A	N	R	N	N
8	Restaurant - Freestanding	RC	RC	RC	RC	50%	RC	RC	RC	N	RC	N	N	N	N	N	N	R
9	Restaurant - Freestanding	RC	RC	RC	RC	50%	RC	N	RC	N	RC	RC	N	E	N	A	N	R
10	Multi-Tenant Shops	RC	RC	RC	RC	40%	RC	RC	N	N	N	N	N	E	N	R	N	N
11	Restaurant - Freestanding	RC	RC	RC	RC	50%	RC	RC	RC	N	N	N	N	E	N	A	N	R
12	Bank/Credit Union	RC	RC	RC	RC	50%	RC	RC	RC	N	N	N	N	E	A	N	R	R
13	Retail	RC	RC	RC	RC	40%	RC	RC	RC	RC	RC	RC	N	E	A	N	N	R
14	Multi-Tenant Shops	RC	RC	RC	RC	40%	RC	RC	RC	RC	N	RC	A	E	N	RC	E	RC
15	Multi-Tenant, Mixed Use	RC	RC	RC	RC	35%	E	R	N	E	A	R	RC	RC	R	R	N	N
16	Multi-Tenant, Mixed Use	RC	RC	RC	RC	35%	E	R	N	E	A	R	RC	RC	R	R	N	N
17	Multi-Tenant Shops	RC	RC	RC	RC	35%	E	A	N	A	A	R	N	R	R	R	A	N
18	Multi-Tenant Shops (or Restaurant)	RC	RC	RC	RC	35%	R	E	N	A	N	A	N	R	R	R	N	N
19	Theater/Entertainment (or other)	RC	RC	RC	RC	25%	A	A	R	A	N	A	A	RC	RC	E	A	R
20	Residential (Multi-Family)	RC	RC	RC	RC	15%	E	FR	R	R	A	A	RC	RC	RC	E	A	R
21	Hotel	RC	RC	RC	RC	25%	E	A	R	E	A	A	A	E	R	N	E	R
22	Office	RC	RC	RC	RC	35%	E	FR	R	R	A	E	E	E	R	N	R	R
23	Office	RC	RC	RC	RC	35%	E	FR	R	R	A	E	E	E	R	N	R	R
24	Hotel	RC	RC	RC	RC	35%	E	A	R	E	A	A	A	E	R	N	E	R
25	Office	N	RC	RC	RC	35%	E	FR	R	R	A	A	RC	RC	R	N	R	R
26	Office	N	RC	RC	RC	35%	E	FR	R	R	A	A	RC	RC	R	N	R	R
27	Parking Structure	RC	RC	RC	RC	20%	N	N	N	N	R	A	N	R	N	E	N	N

3.4 DESIGN ELEMENT REQUIREMENTS

3.4.1 DESIGN ELEMENT REQUIREMENTS BY LOT

(1) When multiple Design Elements are flagged RC within a category, a minimum of one (1) of the RC options must be satisfied for that category.

(2) FR and A elements require design review approval to confirm sufficient satisfaction and appropriate/complimentary design.

(3) Alternate materials and requests for deviations from the required % may be considered for approval in special circumstances.

(4) % of exterior elevation calculation excludes glazing system and openings (in the case of parking structures). Purely artistic Murals may receive a 1:1 SF credit toward the material % requirement, but in no event shall a mural satisfy more than 3/4 of a Lot's % requirement. Use of wood on the exterior elevations as well as any soffits shall receive a 1:1 SF credit toward the material % requirement. Wood decorative screening treatments which are not required for screening mechanical, back of house, etc., shall receive a 1:1 SF credit towards the material % requirement.

EX: 100'x60' building 18' tall: $(100+60) \times 2 \times 18 = 5,760$ SF of surface area - glazing (assume 1,760 SF) = 4,000 SF
x % (assume 50%) = 2,000 SF.

(5) All Murals and permanent artwork must be submitted for approval in advance of commissioning any work or production.

(6) Focal elements may include a statement entry, upper level balcony or deck, corner tower or other architectural element that draws visual attentions.

(7) Anticipated land uses established at time Design Guidelines were prepared. If the land use on a lot is changed, subject to VIVO approval, the more stringent of (a) the set Lot Design Element Requirements or (b) the Design Element Requirements established for similar Land Uses found on other Lots, shall govern. VIVO is the only entity that may grant relief or deviation from any Design Element Requirements. (8)

(8) FAQ: What is the difference between "Encouraged" and "Allowed". Answer: Both are allowed but neither are required. "Encouraged" Design Elements are those which were envisioned to be incorporated in the building design. When considering requests for deviations to the design Guidelines, VIVO will consider, among other things, the lot owner's incorporation of "Encouraged" Design Elements in the building design.

3.4 DESIGN ELEMENT REQUIREMENTS

3.4.2 SPECIAL MATERIALS

There are four Special Materials: Brick, Decorative Masonry, Natural Stone and Wood. Additional clarification regarding the approved Special Material options can be found in their respective Material section in 3.3.

The right-hand column under “Special Materials” in the Design Element Requirements by Lot table (see prior section), specifies a %. This percentage indicates how much of the exterior elevation must be treated with an appropriate Special Material that is suited to the Building Style and proposed building design. As further clarified in footnote (4) following the table, the surface area calculation for building elevations excludes glazing systems and in the case of parking structures, the openings in the building envelope.

Credit may be received toward the Special Material % requirement for the following:

- Use of Wood on the exterior elevations as well as any soffits shall receive a 1:1 SF credit
- Decorative screening treatments (see Architectural Feature: Decorative Screening) which are not screening mechanical, back of house, etc., shall receive a 1:1 SF credit
- Purely artistic Murals may receive a 1:1 SF credit toward the % requirement up to 3/4 of the %.

The following examples illustrate the method of calculating the required SF of Special Materials:

Example 1a: Assumptions: 100' x 60' building 18' tall with 1,760 SF of glazing systems
(100' + 60') x 2 x 18' = 5,760 SF of elevation surface area
Less: 1,760 SF of glazing = 4,000 SF of surface area less glazing systems
x % (assume 50%) = 2,000 SF of Special Materials would be required

Example 1b: Assumptions: same as 1a above, but assume 250 SF of wood soffits utilized
2,000 SF of Special Materials required
Less: 250 SF of wood soffits
= 1,750 SF of Special Materials (which may be other than wood) still required

Example 1c: Assumptions: same as 1a and 1b above, but assume 500 SF of decorative screening utilized
= 1,750 SF of Special Materials still required
Less: 500 SF of decorative screening
= 1,250 SF of Special Materials still required

Example 1d: Assumptions: same as 1a, 1b and 1c above, but assume 400 SF artistic mural
= 1,250 SF of Special Materials still required
Less: 400 SF of decorative screening
= 850 SF of Special Materials still required

3.4 DESIGN ELEMENT REQUIREMENTS

3.4.3 ARCHITECTURAL FEATURE: LARGE OVERHANGS

Large overhangs shall be carefully utilized to accent the massing of the building to create a functional and dynamic visual experience for patrons. It is encouraged to use the overhang to serve multiple purposes including but not limited to shading for glass openings, shading for balcony areas, shading at the sidewalk pedestrian area and as dynamic design elements creating shadow accents on the building façade.



3.4 DESIGN ELEMENT REQUIREMENTS

3.4.4 ARCHITECTURAL FEATURE: WOOD SOFFITS

Wood soffits shall be used to generate warmth for the horizontal elements of the building. The wood material creates a more natural scale and feel for both pedestrian and upper level architectural features. The orientation of the wood planking should be carefully considered to either accent direction of travel or used in a way that works with clean construction techniques. Fasteners for the soffits need to be either hidden or aligned and be considerate of color and material.

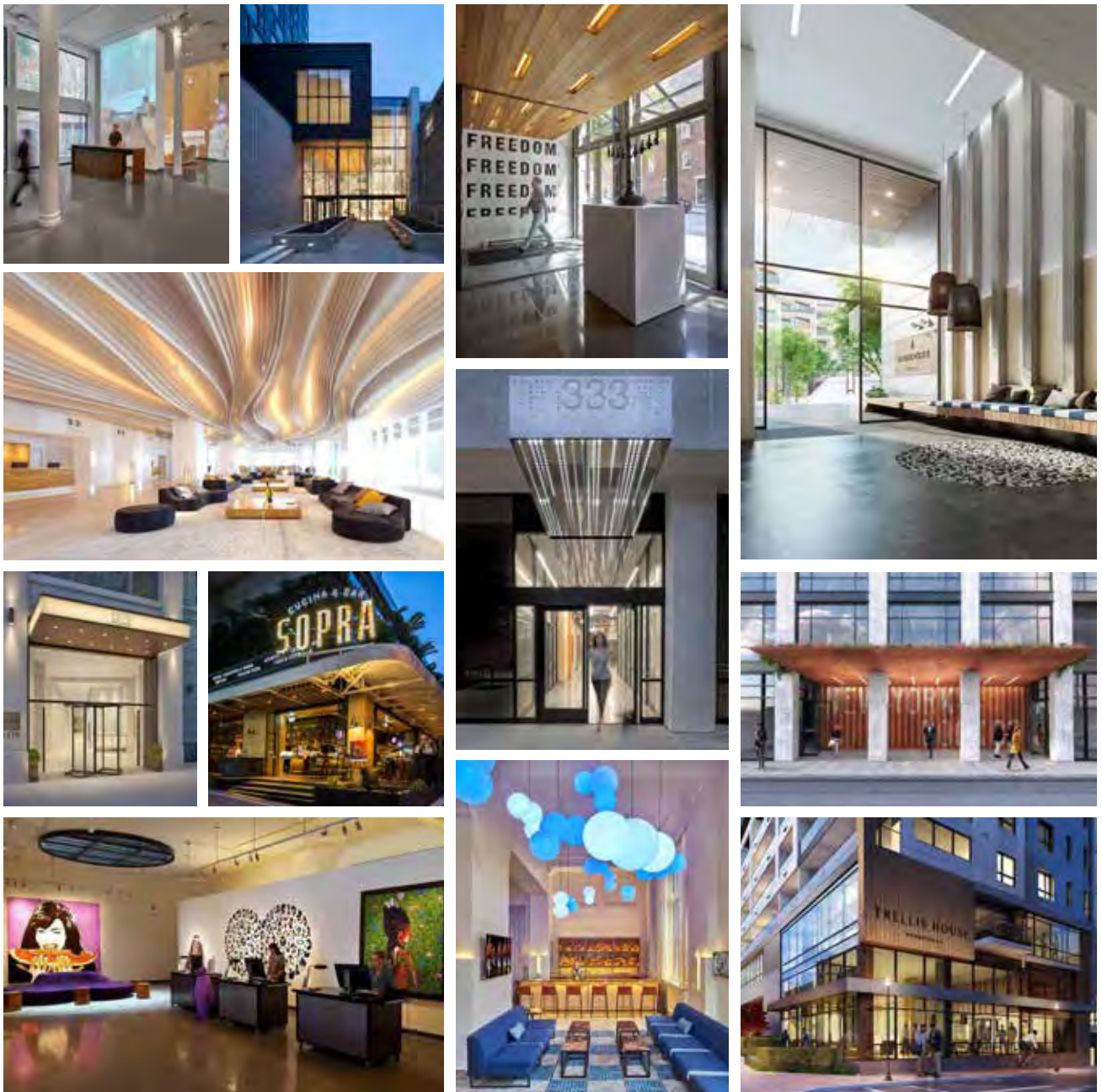


3.4 DESIGN ELEMENT REQUIREMENTS

3.4.5 ARCHITECTURAL FEATURE: ENTRY STATEMENT

Significant architectural landmarks at entrances to the buildings magnify the sense of threshold upon entry and create memorable wayfinding opportunities. A dramatic entry experience can help define the sense of arrival and elevate the artistic design ethos of Gallery Park. Entry Statements can be created/achieved in multiple ways:

- Differentiated building massing (height, building envelope)
- Use of a special or different façade material
- Having a plane, canopy wall or design element flow from the exterior to the interior
- Creative use of interior volume design that can be appreciated from the exterior in the evenings
- Utilization of accent lighting and/or creative signage
- Creative use of art to decorate the interior



3.4 DESIGN ELEMENT REQUIREMENTS

3.4.6 ARCHITECTURAL FEATURE: UPPER BALCONY OR ROOF DECK

Balconies and roof decks are a prime locations for enjoying views and creating a feeling of site activity on a plane other than at ground level. Balconies create interest in otherwise uninterrupted facades.



3.4 DESIGN ELEMENT REQUIREMENTS

3.4.7 ARCHITECTURAL FEATURE: 2+ BUILDING STYLES

Where allowed, buildings may integrate two or more Building Styles into a singular design wherein the two styles work together. These complimentary Building Styles may be placed side by side (as in a streetscape) or atop one another (in the case of multi-story buildings) to give the appearance that the buildings were constructed at different times. Lot Owners considering the incorporation of this Architectural Feature should consult with VIVO as soon as concept sketches and/or photos are available in order to obtain preliminary feedback regarding the design concept.



3.4 DESIGN ELEMENT REQUIREMENTS

3.4.8 ARCHITECTURAL FEATURE: DECORATIVE SCREENING

While screening is commonly used to conceal unsightly building/site elements from view, the intent of this architectural feature is to provide building articulations, warmth through the use of wood (or approved wood appearance “equal”), and layering/depth of building planes while also protecting building interiors from sun exposure. Although the use of wood as louvers appropriately specified and maintained for a hot weather climate is the preferred screening material to obtain the aforementioned design objectives, the following decorative screening materials may be submitted for consideration:

- painted or powder coated steel as louvers
- metal panels with attractive patterns of voids or perforations
- a system of hanging metal pieces that move in the wind.

With regard to all parking structures, 20% of the area of all combined openings on elevations facing inward toward Gallery Park shall be screened using wood louvers or alternate approved material/system (This requirement is in addition to the 20% Special Material requirement in Table 3.4.1 for solid portions of the parking garage). For certain retail, restaurant, residential and office uses, screening can be used as an optional architectural feature and receive 1:1 sq. ft. credit towards the Special Material % requirement.



3.4 DESIGN ELEMENT REQUIREMENTS

3.4.9 SPECIAL PLANTINGS

There are three Special Planting requirements that have been established for use within Gallery Park:

- Upper Level Plants or Trees
- Vines Growing on Walls
- Date Palms Accenting Building Entry

Upper Level Plants or Trees: trees, shrubs, trailing vines or grass that are incorporated into a planter box or pot at any upper levels. The intent is to introduce landscaping to soften and cool the building mass. Although this can be used in many locations, it should always be integrated into the design of Upper Balcony or Roof Deck Design Requirements.

Vines Growing on Walls: vines planted at the ground level that are trained to grow up the face of the building surface in an aesthetically appealing manor. Vine growth must be maintained to sustain an attractive aesthetic. The property owner shall be responsible for the immediate repair of building damage created upon removal of excess vine growth. As such, sun exposure and type of vine should be considered prior to planting.

Date Palms Accenting Building Entry: two to six date palms located at the main entry, typically symmetrical.

With regard to all Special Planting requirements, creative up or down lighting should be incorporated and set to illuminate the planting materials from dusk until 5:00 AM.

3.5 COLOR PALETTE

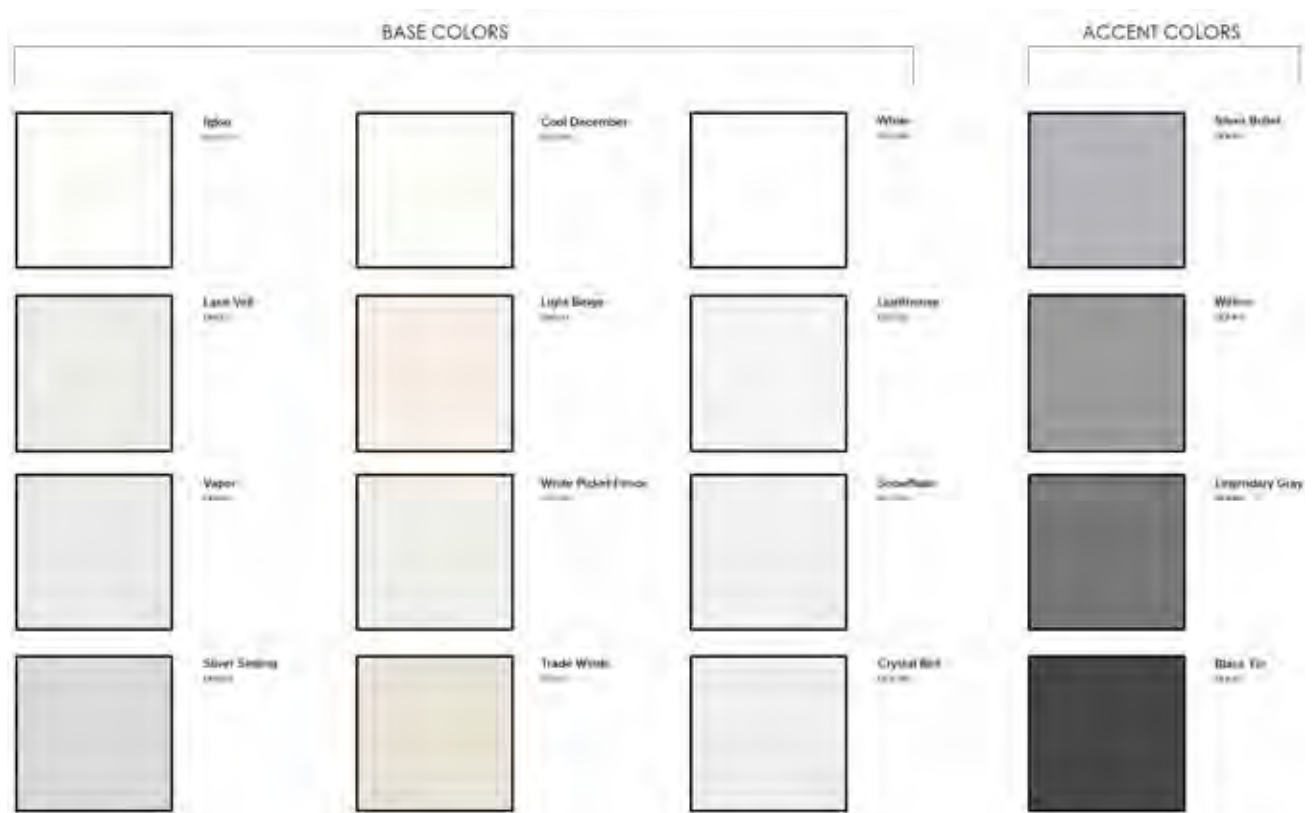
Similar to an artist’s canvas, Gallery Park features a white tone color palette for the primary building color. With a Building Style in mind, the building design team may select one or more of the approved base colors for the body of the building (see list below), to which the proposed Special Material(s) (see Brick, Decorative Masonry, Natural Stone, Wood) should be applied to introduce warmth and character into the building’s elevations. It is understood that the Base Colors will not come in to play in a building’s design if the structure’s skin is entirely comprised of a combination of glazing system, unpainted brick, decorative masonry, natural stone and/or wood.

Where allowed, additional building articulation, depth of planes, and lighting effects can be further achieved through the introduction of Decorative Screening treatments.

With regard to Building Style: Warm Modern, the design team can propose brighter accent colors such as shades of orange, yellow, blue, green, red and rust as limited accent colors as may be illustrated in the imagery included in the Architectural Vision and Building Style: Warm Modern sections.

With regard to Building Style: Heritage, the design team can propose a much wider range of colors for the painted wood/metal storefronts systems. Examples of such colors can be found in the Building Style: Heritage photos.

The following colors have been approved for exterior use at Gallery Park (including colors for EIFS systems). Acceptable base color shall be tan, beige and light grey variations of white. In addition to clear anodized and dark bronze anodized aluminum storefront systems, approved accent colors for painted aluminum, steel, metal storefront and canopy systems are medium grey to charcoal to black (as noted below). Smoked or blackened exposed steel (clear coat sealed) finishes are also acceptable. Colors specified below are from Dunn-Edwards Paints, however matching colors from other paint manufacturers are acceptable. Alternate base and accent colors may be submitted and are subject to VIVO approval, which approval may be withheld in VIVO’s sole and absolute discretion for any reason.



3.6 KEY DESIGN CONSIDERATIONS

3.6.1 ENVIRONMENTAL COMFORT

ORIENTATION, SHADE & RAIN PROTECTION

Striving for ideal environmental comfort is one of the basic, underlying tenets that shapes the look and feel of the pedestrian oriented streets at GALLERY PARK. Mesa's summer climate and monsoon season are addressed with overhead structures to ensure that visitors can enjoy the outdoors throughout the year.

Shade elements such as suspended canopies, posted canopies, and awnings are to be integrated into building and storefront designs from their inception, as a part of an overall environmental strategy, outlined below.

FULL SHADE/RAIN PROTECTION DEFINED:

- Horizontal shading canopy; 10'-14' deep recommended, 8' deep minimum.
- Consideration should be given for a recommended approximate 1:1 height to width ratio for the canopy (see Shading Angle Diagram on following page). Narrow canopies placed too high will not provide effective sun protection during the hot summer months.

FULL SHADE/RAIN PROTECTION REQUIRED:

- For all Primary Street facing building facades (see the Primary Streets Diagram on page after next), at ground level.
- For all south facing building facades, at the ground level.

PARTIAL SHADE PROTECTION DEFINED:

- Because shading strategies for locations outside of the above listed can vary greatly depending on orientation and desired function for maximum effectiveness, partial shading designs will be reviewed and considered by the City of Mesa and VIVO on a case-by-case basis.
- Desired result of partial shading is listed below for each facade orientation.

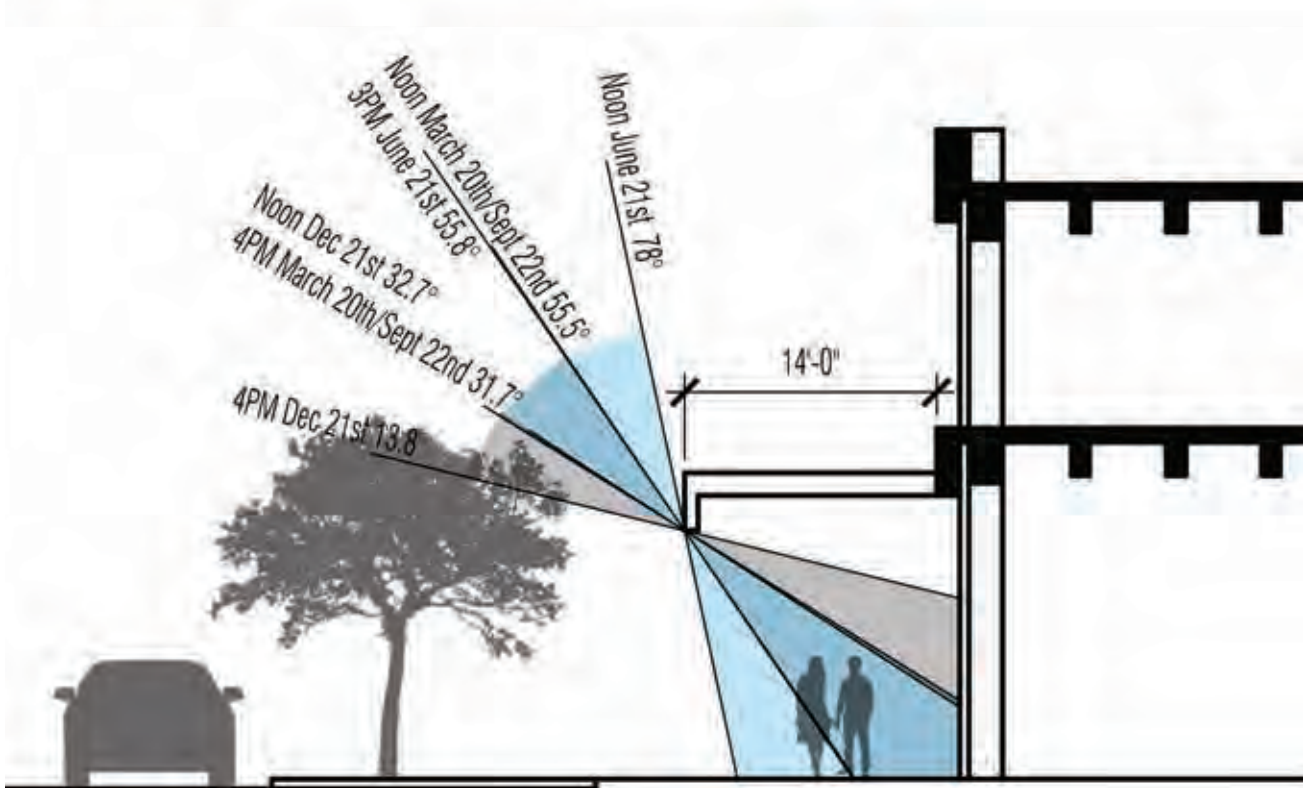
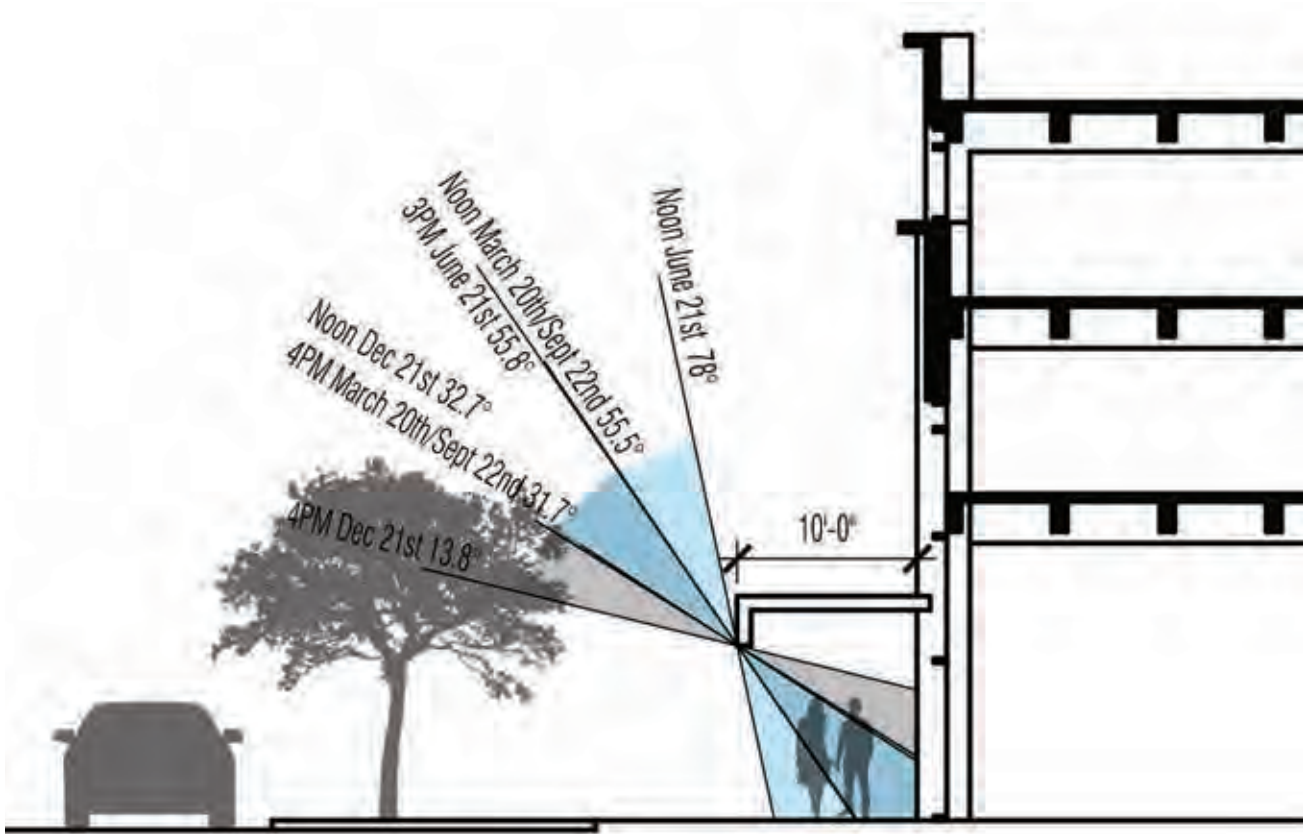
PARTIAL SHADE PROTECTION REQUIRED:

- For west facing facades — afternoon protection is desired
- For north facing facades — afternoon protection is desired (Summer months)

NOTE: Landscape can be utilized and will be considered as part of the shading strategy.

3.6 KEY DESIGN CONSIDERATIONS

3.6.1 ENVIRONMENTAL COMFORT



SHADING ANGLE DIAGRAMS

3.6 KEY DESIGN CONSIDERATIONS

3.6.2 FORM AND SCALE

BUILDING MASSING

- 20' or 40' horizontal typical bay at the street level is preferable and lends itself to both the pedestrian scale experience and Tenant lease flexibility.
- Building elements may pull back from the build-to line to the extent required to help reinforce Tenant identity and pedestrian rhythm.
- Consistent quality design and detailing is required on all sides of every building.

FACADE TREATMENT

- Variation in building volume and plane and material are encouraged to create dynamic textures and variations with shade and shadow that are animated by the sun throughout the course of the day.
- Sun shading elements, projecting canopies, and awnings that provide cover and shade along the length of the street and shade building facades are encouraged.
- The level of detail should be enhanced at the street frontage with refined materials and strong entry elements.
- Window and door openings shall have primarily vertical proportions.
- Transparency of building facades is required at the ground floor when abutting pedestrian areas.

OPENINGS

Doorways should address human scale and comfort and therefore head height for such openings may fall into the range of 8' to 12'.

ROOF TREATMENT

Commercial buildings at GALLERY PARK can employ “fat” or shed roofs with parapets to create a distinctive edge on the skyline. Residential architecture is encouraged to do the same, but may employ limited gabled or hipped roofs, with the review and approval by the City of Mesa and the commercial reviewer.

3.6 KEY DESIGN CONSIDERATIONS

3.6.2 FORM AND SCALE



bold contemporary detailing



regional materials with integrated detailing



clarity of contemporary materials with protected wood soffits

3.6 KEY DESIGN CONSIDERATIONS

3.6.3 SCREENING



MECHANICAL EQUIPMENT

All mechanical equipment, whether at grade or on a building's roof, shall be screened from public view with architectural and/or landscape materials consistent with the buildings at GALLERY PARK (materials, color, scale, etc.), or they shall be located so as not to be visible from any public ways.



UTILITY EQUIPMENT

All utility equipment (vents, stacks, gas and water meters, etc.) and associated protective materials (bollards, etc.) should be screened and painted so as to blend in with the roof or building. Fencing or screens must meet all code and proprietary clearances. Means should be taken to avoid highly visible roof venting equipment.



SERVICE AREAS

All service areas (trash, recycling, mechanical areas, storage, utility, and meter rooms) must be architecturally integrated within the body of the building or located in service alleys at the backs of buildings and will be screened 100% from public sight. Masonry or opaque steel doors and screens may be used. Chain-link with vinyl strips is not acceptable. The effectiveness of the equipment screening should also take into consideration future development in the surrounding area.

Using a variety of year-round plant species is ideal when screening equipment. Use plant species that are capable of withstanding Arizona desert climate. Maintenance of the plant materials used for screening is required. Refer to the Landscaping and Hardscaping section of these guidelines for more information.



3.6 KEY DESIGN CONSIDERATIONS

3.6.4 PARKING AREA REQUIREMENTS

CROSS ACCESS PARKING

Gallery Park is developed as an integrated mixed-use project that allows for all Lot Owners and their customers, patrons, employees and suppliers to freely use the Gallery Park common area for the ingress and egress of pedestrians and vehicles to the commercial areas of Gallery Park.

SIDEWALK AND PARKING PAVING

All sidewalks adjacent to any building area, connecting to public right-of-ways and between parcels within Gallery Park, shall be of concrete or approved decorative hard surface construction (See Landscape Design Guidelines). All areas for vehicular use shall be paved with a suitable base and surfaced with asphalt; pavers if required by the City; or concrete for areas devoted primarily to loading, unloading and delivery, as approved by VIVO.

SELF PARKING AND SHARED PARKING

Each parcel within Gallery Park shall provide adequate parking to accommodate its own business use based on market demand, which may exceed City standards or the zoning approvals for Gallery Park. Ingress and egress access noted under Cross Access Parking above, shall on its own not afford parking privileges to the invitees of the businesses located on a specific parcel to the parking located on the adjacent parcels, and vice versa.

To take advantage of Gallery Park's ability to reduce parking below market requirements, a shared parking model ("SPM") has been submitted for approval as part of the Gallery Park zoning stipulations. Any Lot Owner desiring to reduce its' parking requirements to below market or City requirements using the SPM, must receive written approval from VIVO, with such approval to be at the sole discretion of VIVO. If an approval is granted by VIVO, the approval must specifically state the allowed reduction in parking, which may not be the minimums allowed under the SPM.

3.6 KEY DESIGN CONSIDERATIONS

3.6.5 BUILDING LIGHTING

Gallery Park’s mixed-use lifestyle environment will serve as a major employment destination by day and a sought-after dining and entertainment destination by night. The projects’ building and landscape designs must respond to a visitor’s daytime and nighttime experience. As such, architectural lighting shall be thoughtfully considered in the design of all building and landscape elements. Architectural Lighting considerations for all Lots will include:

- Dramatic lighting should enhance primary architectural features including, but not limited to, entry canopies, folded wall and ceiling planes, and upper balconies.
- Accent lighting should be incorporated on secondary building elements such as blank walls to highlight their texture or on columns to reveal their cadence on a façade.
- Special consideration should be given to creating an ambiance with mood lighting such as overhead string light or up lighting/down lighting on walls.
- The design of the light fixture itself can also serve as a design element to reinforce a style (such as an antique sconce on Heritage style) or to become a focal element itself (such as an enlarged chandelier over an outdoor gathering space).
- Up lighting in trees, down lighting under benches, lighting patterns on walk ways shall all be incorporated as part of landscape lighting experience.
- Lighting shall almost exclusively use warmer temperatures. Cool temperature lighting is discouraged.



3.6 KEY DESIGN CONSIDERATIONS

3.6.6 SITE LIGHTING

The lighting strategies for GALLERY PARK promote quality site lighting design with the goal of providing a rich and welcoming evening environment with safety and security as a priority.

The use of lighting should be integrally designed as part of the built environment and should reflect a balance for the lighting needs with the contextual ambient light level and surrounding nighttime characteristics of GALLERY PARK. All exterior lighting design require the approval of the City of Mesa.

Lighting solutions are encouraged to utilize:

- Full cut-off or fully shielded fixtures, set mounting heights as required to effectively control glare, light trespass, and maintain dark skies.
- Fixtures and strategies that promote energy conservation.
- Automatic controls systems to eliminate excessive light during non-active hours of site and building operation.
- Lighting on the exterior wall immediate to the storefront area is encouraged to help increase Tenant identity and to provide an appropriate level of comfort and rhythm for the pedestrian.
- Low-level, down-lighting integrated into the canopy to provide visibility and security. The lighting must enhance or be an extension of the design intent of the architecture.

All exterior lighting designs shall:

- Take into account all exterior lighting sources.

Please refer to the Landscape and Hardscape section of these guidelines for landscape lighting requirements.



4.0 ENVIRONMENTAL GRAPHICS

Due to the variety of architectural treatments and the mix of commercial and residential uses within Gallery Park, each building and storefront sign will be carefully considered in relationship to its particular location. What may be appropriate in one location may not work in another. All sign materials must be consistent with the associated Building Style design, enhancing the architecture and storefront to communicate an elevated brand image to visitors of Gallery Park. Each proposed sign will be evaluated on its originality and compatibility with the neighboring signs, and its overall image within Gallery Park.

The following chapter will include:

- 4.1 Sign Types & Comprehensive Plan
- 4.2 Project Identification Signs
- 4.3 Sample Building/Tenant Signs

4.1 SIGN TYPES & COMPREHENSIVE PLAN

Gallery Park will feature the following primary sign types:

- Project Identification Signs
- Freeway Billboard Sign
- Building/Tenant Signs
- Directional/Wayfinding Signs
- Directory Signs
- Digital Panels (within the Park)

The Project Identification Signs and Freeway Billboard Sign were designed and approved during the Gallery Park zoning entitlement process (see Section 4.2 Project Identification Signs).

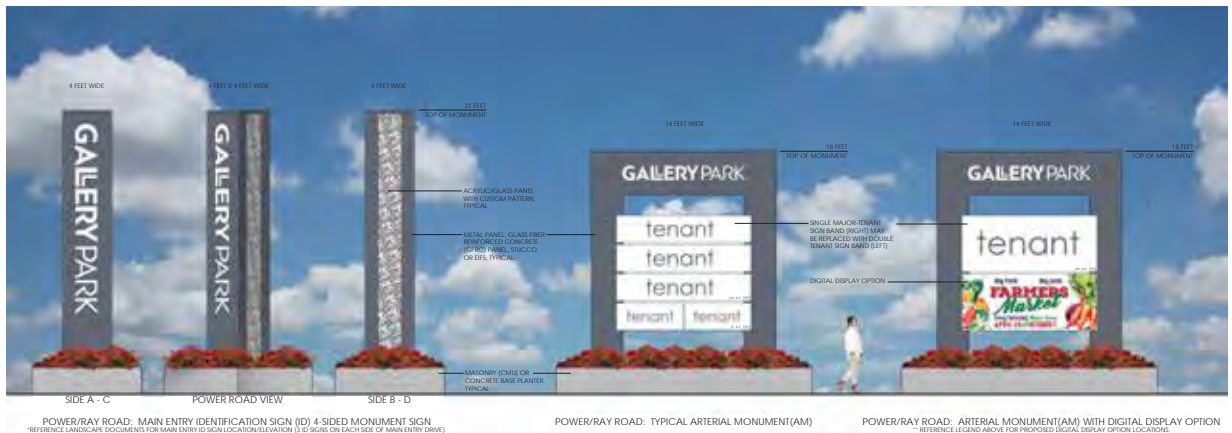
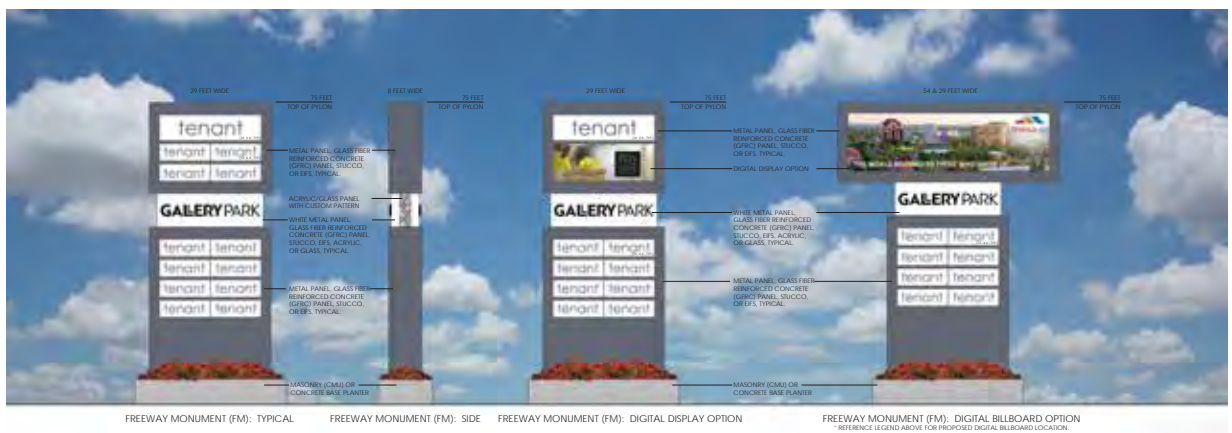
The design standards for all other sign types shall be set forth in the City approved Comprehensive Sign Plan. Lot Owners/tenants should refer to the Comprehensive Sign Plan for sign related questions such as allowable sign types/designs, sign placement and size, approval requirements, and prohibited signs.

Sign permits will be required for all signs. The Gallery Park Commercial Reviewer reserves the right to disapprove any sign design which is not compatible with the Comprehensive Sign Plan and the aesthetics of Gallery Park. Exceptions to the Comprehensive Sign Plan standards are extremely rare but may be considered if, in Gallery Park Commercial Reviewer's opinion, the sign design is of exceptional merit and architectural quality.

4.2 PROJECT IDENTIFICATION SIGNS

Gallery Park signage provides its users with prominent visibility along the property's major vehicular corridors. Freeway Monument signs are positioned along the 202 Freeway, while Arterial Monument signs are placed along Power and Ray Roads. Digital display options will be implemented at strategic Freeway and Arterial Monuments to provide additional advertising flexibility to Gallery Park tenants. Identification signs placed at the main entry (off Power Road) and the major intersection of Power and Ray Roads, will announce the project to those traveling along the Power and Ray Road arterials. An additional project identification sign located at the terminus of main street, will serve as a notice to visitors that they've arrived at Gallery Park. Prior to the installation of the monument sign, Mesa Zoning Ordinance requires a Council Use Permit to be reviewed and approved.

Examples of anticipated Elevation Views of Monument and Identification signs can be found below -



4.3 SAMPLE BUILDING/TENANT SIGNS

Gallery Park is intended to look, work and feel like an urban neighborhood that blends professional businesses with hotels, boutique retail and dining establishments. Uncontrolled signs can quickly create a visual and verbal jungle and fail in their goal to communicate effectively, in turn undermining overall cohesiveness. The ultimate goal is to produce a consistent collage of signs that tastefully inform, delight and stimulate visitors to the project while fitting in seamlessly with the built environment. The artful use of painted wall signs will be strongly encouraged throughout the project in an effort to bolster the impact of The Art Program's Mural component.

Although the City approved Comprehensive Sign Plan shall ultimately govern over all building/tenant signs, the following imagery illustrates the design team's vision for building signage within Gallery Park.



4.3 SAMPLE BUILDING/TENANT SIGNS



GALLERY PARK, MESA

NELSENPARTNERS.COM

5.0

LANDSCAPE DESIGN GUIDELINES

The Landscape Design Guidelines ensures that future development of the site reflect the overall theme of area, creating a unifying aesthetic, and provide for meaningful spaces that relate to the adjacent buildings. Landscape guidelines are categorized as follows:

- 5.0 Rendered Landscape Plan
- 5.1 Landscape Design Guidelines & Character
- 5.2 Landscape Zones + Plant Palette
- 5.3 Hardscape Design Guidelines & Character
- 5.4 Hardscape Materials
- 5.5 Site Amenities
- 5.6 Site Furnishings
- 5.7 Landscape Lighting



5.1

LANDSCAPE DESIGN

LANDSCAPE DESIGN GUIDELINES + CHARACTER

Located at Power Road and Loop 202 in Mesa, Gallery Park is a commercial, retail, and residential community that focuses on high-quality outdoor livability. The following outlines the Landscape Design Guidelines:

1. Use masses of desert adapted plants to provide color, texture, and pattern.
2. Spotlight distinctive areas with one large, Landmark tree.
3. Use the height of date palms to identify entrances and paseos.
4. Install upgraded paving in large gathering areas.
5. Create shaded paths to increase walkability and integrate exercise into daily life.
6. Build an appropriately-scaled stage and plaza area for community centered events.
7. Use a planting palette to distinguish zones throughout the site.



5.1

LANDSCAPE DESIGN LANDSCAPE DESIGN GUIDELINES + CHARACTER

MASTER LANDSCAPE PLAN & GUIDELINES

Gallery Park landscape plans must match the approved master landscaping and master site plans, as well as the master grading, drainage and utility plans approved for the overall project. Lot Owner and Lot Owner's landscape architect are to follow all tree, planting, site wall and hardscape designs set forth in the approved Landscape Design Guidelines. Any deviations must be approved by VIVO and VIVO's Landscape Architect. The following are the landscape plan requirements:

- a. Plant materials are to be large enough and spaced to screen electrical transformers that are visible from eye level adjacent to drives and parking lots. Refer to the utility companies' details for required clearances.
- b. All plant material shall conform to the Arizona Nurseryman Association standards.
- c. All granite color shall be Kalamazoo Materials - Desert Gold. Size, screening, and depth shall match adjacent lots, unless an alternative is approved in writing by VIVO. Failure to do so shall be at the sole risk and expense of Lot Owner in the event of any discrepancies.
- d. Valve boxes shall match color of granite unless an alternate is approved by VIVO or required by City (i.e purple for reclaimed water).
- e. Artificial turf will be considered for approval provided the turf is:
 - i. Of a natural appearance with multi-color brown thatch blend.
 - ii. Multi-height, non-directional.
 - iii. UV resistant.
 - iv. American made.
 - v. Carries a minimum 10-year manufacturer's warranty.
 - vi. Supplemental water is provided for any trees planted within artificial turf areas.
- f. Backflow preventers shall not be installed in turf areas and shall be secured with lockable cover screens painted earth tones to match existing screens installed within Gallery Park.
- g. The proposed irrigation system shall include any modifications required to tie the existing irrigation system if maintained by the Master Association.



5.2

LANDSCAPE DESIGN

LANDSCAPE ZONES + PLANT PALETTE

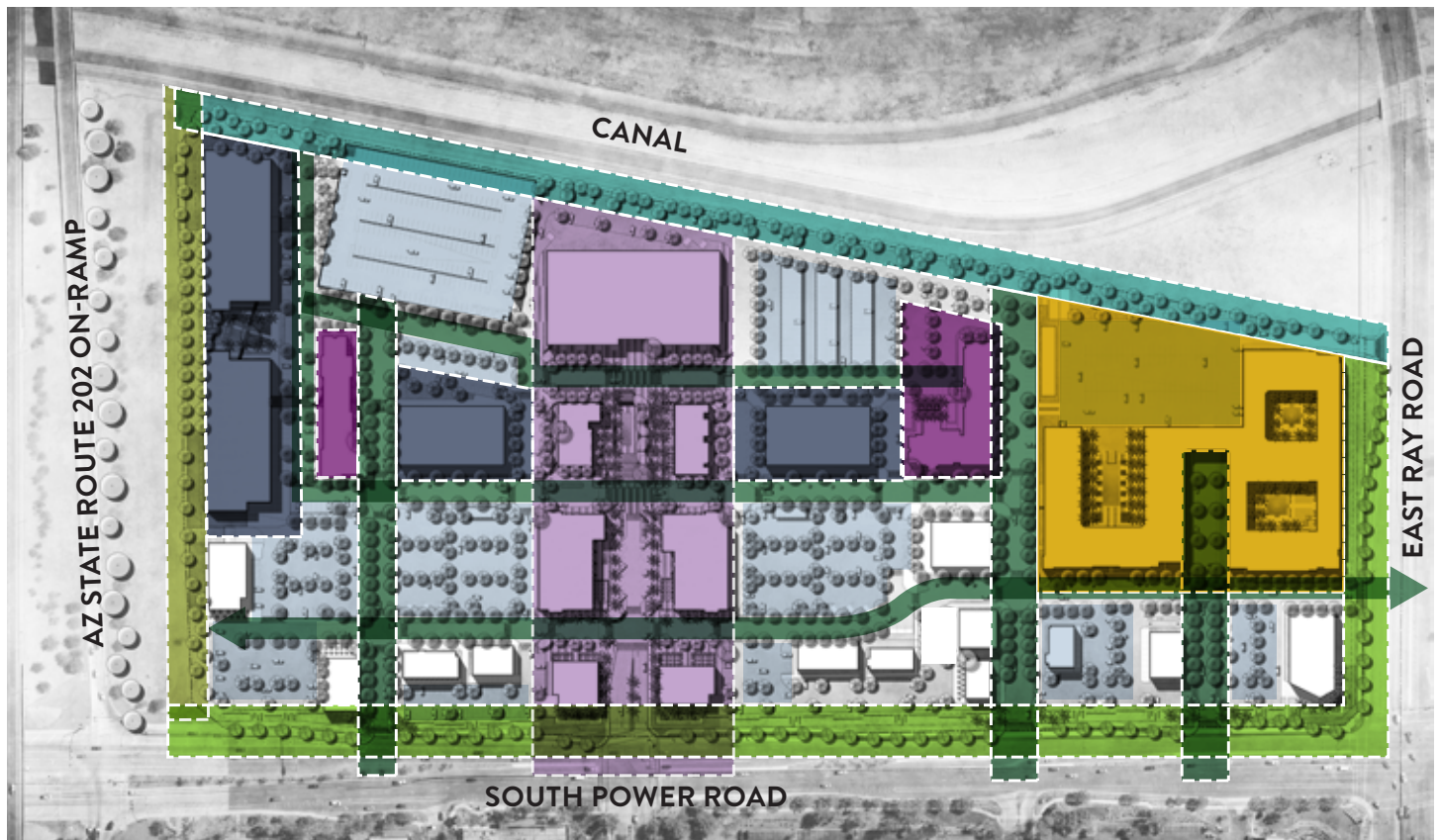
Various exterior nodes and zones are located throughout the site to spark a distinct feel and look. Each plant in the zone palette has been selected to enhance the amenities in the space. Zones range from large arterial roadways to small enclosed courtyards.

The list below identifies each zone in Gallery Park.

Zones:

1. Streetscapes (Power + Ray Roads)
2. Secondary Entries + Internal Connector Drives
 - a. Landmark Trees
3. Parking Courts
4. Main Street + Park
5. Offices
6. Hotel
7. Residential
8. Pots
9. 202 Frontage
10. East Property Line Frontage

ZONE DIAGRAM



KEY

- | | | |
|---|--|---|
|  Streetscapes |  Main Street + Park |  Residential |
|  Secondary Entries + Internal Drives |  Offices |  202 Frontage |
|  Parking Courts |  Hotel |  East Property Line Frontage |

5.2

LANDSCAPE DESIGN TREE PLAN

-  **EXISTING TREES**
-  **STREETSCAPE**
Chinese Elm
Ulmus parvifolia
Chinese Pistache
Pistacia chinensis
Texas Mountain Laurel
Sophora secundiflora
Wilson Olive
Olea europaea 'Wilsonii'
-  **SECONDARY ENTRIES + INTERNAL CONNECTOR DRIVES**
Mastic
Pistacia lentiscus
Texas Live Oak
Quercus fusiformis
Texas Ebony
Ebenopsis ebano
Texas Mountain Laurel
Sophora secundiflora
Chitalpa
Chitalpa linearis
-  **Date Palm**
Phoenix dactylifera
-  **LANDMARK TREES**
Desert Museum Palo Verde
Cercidium 'Desert Museum'
Ficus
Ficus Nitida
Ironwood
Olneya tesota
Jacaranda
Jacaranda mimosifolia
Texas Live Oak
Quercus fusiformis
Wilson Olive
Olea europaea 'Wilsonii'
-  **PARKING COURT**
Ash
Fraxinus velutina 'Fan Tex'
Chinese Elm
Ulmus parvifolia
Mastic
Pistacia lentiscus
Texas Ebony
Ebenopsis ebano
Texas Live Oak
Quercus fusiformis
-  **MAIN STREET + PARK**
Ash
Fraxinus velutina 'Fan Tex'
Chinese Elm
Ulmus parvifolia
Mastic
Pistacia lentiscus
Texas Live Oak
Quercus fusiformis
Chitalpa
Chitalpa linearis
Yellow Oleander
Thevetia peruviana
-  **202 FRONTAGE**
Desert Museum Palo Verde
Cercidium 'Desert Museum'
Texas Ebony
Ebenopsis ebano
Smooth Cascolate
Caesalpinia cacalaco 'Smoothie'
-  **202 EAST PROPERTY LINE**
Ghost Gum Eucalyptus
Eucalyptus papuana
Wilson Olive
Olea europaea 'Wilsonii'
Smooth Cascolate
Caesalpinia cacalaco 'Smoothie'



5.2

LANDSCAPE DESIGN PLANT PALETTE

LANDSCAPE ZONE KEY

- S Streetscape
- D Secondary Entries + Internal Connector Drives

- L Landmark Tree
- P Parking Court
- Po Pots - For use on Main Street + Park, Office, Hotel, and Residential

- M Main Street + Park
- O Office
- 2 202 Frontage

- H Hotel
- R Residential
- EP East Property Line



Desert Museum Palo Verde
Cercidium 'Desert Museum'

- L O H R 2



Ficus
Ficus Nitida

- L



Ironwood
Olneya tesota

- L M



Date Palm
Phoenix dactylifera

- S D M O H R



Chinese Elm
Ulmus parvifolia

- S P M O H R



Chinese Pistache
Pistacia chinensis

- S H R



Jacaranda
Jacaranda mimosifolia

- L



Texas Live Oak
Quercus fusiformis

- D L P M O



Wilson Olive
Olea europaea 'Wilsonii'

- S L EP



Smooth Cascolate
Caesalpinia cacalaco 'Smoothie'

- S M H EP



Texas Mountain Laurel
Sophora secundiflora

- S D M O H R Po



Chitalpa
Chitalpa linearis

- D M



Texas Ebony
Ebenopsis ebano

- D P O



Ash
Fraxinus velutina 'Fan Tex'

- P M O H R



Mastic
Pistacia lentiscus

- D P M O H R



Ghost Gum Eucalyptus
Eucalyptus papuana

- EP



Dodonae
Dodonaea viscosa

- S E P M R



Ficus Columns
Ficus Nitida

- Po

GALLERY PARK, MESA

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5.2

LANDSCAPE DESIGN PLANT PALETTE

LANDSCAPE ZONE KEY

- S Streetscape
- D Secondary Entries + Internal Connector Drives

- L Landmark Tree
- P Parking Court
- Po Pots - For use on Main Street + Park, Office, Hotel, and Residential

- M Main Street + Park
- O Office
- 2 202 Frontage

- H Hotel
- R Residential
- EP East Property Line



Dodonae
Dodonaea viscosa

S E P M R



Leucophyllum Lynn's Legacy
Leucophyllum langmaniae 'Lynn's Legacy'

S



Leucophyllum Rio Bravo
Leucophyllum langmaniae 'Rio Bravo'

S D P M O H R 2



Green Cloud
Leucophyllum frutescens 'Green Cloud'

S P



Leucophyllum Houdini
Leucophyllum revolutum 'Houdini'

M O R 2



Blue Bells
Eremophila hygrophana Blue Bells

P



Leucophyllum Heavenly Cloud
Leucophyllum x 'Heavenly Cloud'

S



Baja Ruellia
Ruellia peninsularis

S D P M O H R



Red Bird of Paradise
Caesalpinia pulcherrima

S H R



Orange Jubilee
Tecoma stans 'Orange Jubilee'

S D M O H R



Apricot Trumpet Bush
Tecoma x *Sierra Apricot*

S M



Yellow Bells
Tecoma stans 'Gold Star'

S D M O H R Po



Twisted Juniper
Juniperus chinensis 'Torulosa'

Po



Myrtle
Myrtus communis

E O



Boxwood
Buxus semperviens

M H R



Yellow Oleander
Thevetia peruviana

M Po



Cassia
Senna artemisioides

S EP



Red Emu Bush
Eremophila maculata 'Valentine'

S D P M O H R

GALLERY PARK, MESA

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5.2

LANDSCAPE DESIGN PLANT PALETTE

LANDSCAPE ZONE KEY

- S Streetscape
- D Secondary Entries + Internal Connector Drives

- L Landmark Tree
- P Parking Court
- Po Pots - For use on Main Street + Park, Office, Hotel, and Residential

- M Main Street + Park
- O Office
- 2 202 Frontage

- H Hotel
- R Residential
- EP East Property Line



Rosemary
Rosmarinus officinalis 'Tuscan Blue'

P M O H R



Little Ollie
Olea europaea 'Little Ollie'

S E M O H R



Dwarf Myrtle
Myrtus communis 'Compacta'

M O H R



Natal Plum
Carissa macrocarpa

E P M O H R



Tuttlei Natal Plum
Carissa macrocarpa 'Tuttle'

P



Green Carpet Natal Plum
Carissa macrocarpa 'Green Carpet'

E P M H R



Yellow Dot
Wedelia trilobata

M O H R



New Gold Lantana
Lantana x 'New Gold'

S E P M O H R 2



Purple Lantana
Lantana montevidensis

M O H R



Dallas Red Lantana
Lantana camara 'Dallas Red'

S E M O R 2



Evergreen Iris
Diets bicolor

M O H R Po



Blue Dwarf Ruellia
Ruellia brittoniana 'Katie'

M



Giant Hesperaloe
Hesperaloe funifera

S EP



Blue Flame Agave
Agave 'Blue Flame'

S



Deer Grass
Muhlenbergia dubia

S E P M O H R



Crimson Yucca
Hesperaloe parviflora 'Perpa' Brakelights

S E P



Red Yucca
Hesperaloe parviflora

M O R



Sticks on Fire
Euphorbia tirucalli 'Sticks on Fire'

Po

GALLERY PARK, MESA

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5.2

LANDSCAPE DESIGN PLANT PALETTE

LANDSCAPE ZONE KEY

- S** Streetscape
- D** Secondary Entries + Internal Connector Drives

- L** Landmark Tree
- P** Parking Court
- Po** Pots - For use on Main Street + Park, Office, Hotel, and Residential

- M** Main Street + Park
- O** Office
- 2** 202 Frontage

- H** Hotel
- R** Residential
- EP** East Property Line



Barbara Karst Bougainvillea
Bougainvillea 'Barbara Karst'

- S**
- M**
- O**
- H**
- R**



Purple Bougainvillea
Bougainvillea brasiliensis

- M**
- O**
- H**
- R**



Torch Glow Bougainvillea
Bougainvillea 'Torch Glow'

- S**



Hacienda Creeper
Parthenocissus x Hacienda Creeper

- M**
- EP**



Star Jasmine
Trachelospermum jasminoides

- M**
- H**
- R**
- Po**



Creeping Fig Vine
Ficus Pumila

- M**
- O**
- H**
- R**
- EP**



Potato Vine
Ipomoea batatas

- Po**



Ficus Columns
Ficus Nitida

- Po**

5.3

LANDSCAPE DESIGN

HARDSCAPE DESIGN + CHARACTER

Just as Mesa embraces the historic and the modern, the hardscape character of Gallery Park is made up of timeless materials as well as contemporary materials. The warmth of brick and wood is coupled with the simple, sleek look of steel and concrete.

The following design guidelines and images illustrate the hardscape design for the Main Axis and The Park. Furthermore, they serve as a guide and hardscape character framework for the design of public portions of future hotel, office, multifamily, retail and restaurant uses on the site.

1. Colors will be neutral and natural.
2. Textures for concrete include sandblasted, exposed aggregate, smooth, and board form.
3. Finishes for steel include natural and powder coated.
4. Use linear paver patterns to express a contemporary aesthetic.
5. Man-made shade structures may be incorporated where appropriate.
6. Consider using locally sourced materials where possible to support sustainable practices.

GALLERY PARK, MESA



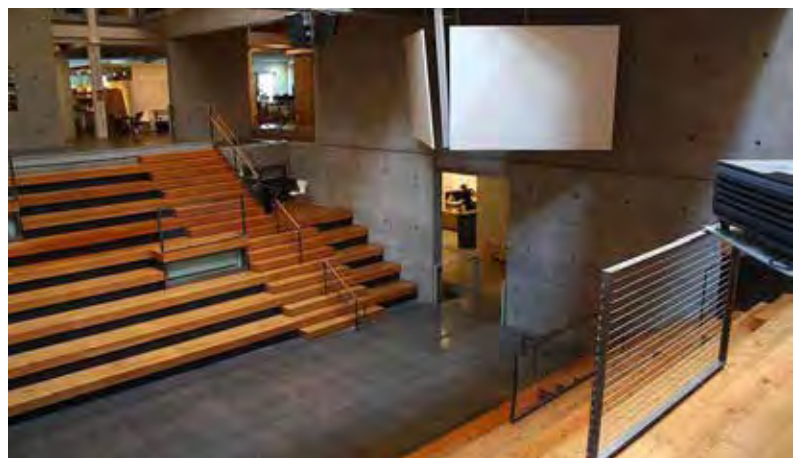
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5.3 LANDSCAPE DESIGN
HARDSCAPE CHARACTER + DESIGN

OFFICE COURTYARDS AND ROOFTOPS

Contemporary corporate culture includes open space for employees for company events and recreation. Warm woods and concrete seating are options for large gatherings. Movable furniture and tables provide opportunities for small, outdoor workstations. The addition of artificial or natural turf in the courtyard become the stage for lawn games and other activities.



GALLERY PARK, MESA

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L-101
Landscape Plan (1"=150')



- KEY NOTES**
- ① MATERIAL: CONCRETE
FINISH: HEAVY BROOM
COLOR: GRAPHITE IRON OXIDE
 - ② MATERIAL: CONCRETE
FINISH: HEAVY BROOM
COLOR: COBBLE STONE
 - ③ **OPTION 1**
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: LIGHT MESA BEIGE
 - OPTION 2**
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM |
SANDBLASTED PATTERN
COLOR: KAILUA
 - ④ **OPTION 1**
MATERIAL: PAVER
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: GRAPHITE
GRANADA WHITE
MOCHA BROWN
 - OPTION 2**
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM
COLOR: PEBBLE
PEWTER
GRAPHITE IRON OXIDE
 - OPTION 3**
MATERIAL: CONCRETE
FINISH: ACID ETCH
COLOR: PEWTER
 - ⑤ **OPTION 1**
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: YELLOW
 - OPTION 2**
MATERIAL: CONCRETE
FINISH: SANDBLAST
COLOR: PALOMINO
 - ⑥ **OPTION 1**
MATERIAL: PAVER
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: GRAPHITE
GRANADA WHITE
MOCHA BROWN
 - OPTION 2**
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM
COLOR: PEBBLE
PEWTER
GRAPHITE IRON OXIDE
 - ⑦ NOT USED

L-103 Main Street Park (1"=30')



KEY NOTES

- ① MATERIAL: CONCRETE
FINISH: HEAVY BROOM
COLOR: GRAPHITE IRON OXIDE
- ② NOT USED
- ③ **OPTION 1**
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: LIGHT MESA BEIGE
OPTION 2
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM |
SANDBLASTED PATTERN
COLOR: KAILUA
- ④ **OPTION 1**
MATERIAL: PAVER
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: GRAPHITE
GRANADA WHITE
MOCHA BROWN
OPTION 2
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM
COLOR: PEBBLE
PEWTER
GRAPHITE IRON OXIDE
- ⑤ **OPTION 1**
MATERIAL: CONCRETE
FINISH: ACID ETCH
COLOR: PEWTER
OPTION 2
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: YELLOW
OPTION 3
MATERIAL: CONCRETE
FINISH: SANDBLAST
COLOR: PALOMINO
- ⑥ **OPTION 1**
MATERIAL: PAVER
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: GRAPHITE
GRANADA WHITE
MOCHA BROWN
OPTION 2
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM
COLOR: PEBBLE
PEWTER
GRAPHITE IRON OXIDE
- ⑦ MATERIAL: CONCRETE
FINISH: NATURAL
COLOR: NATURAL

L-106
Main Street Retail (1"=30')



KEY NOTES

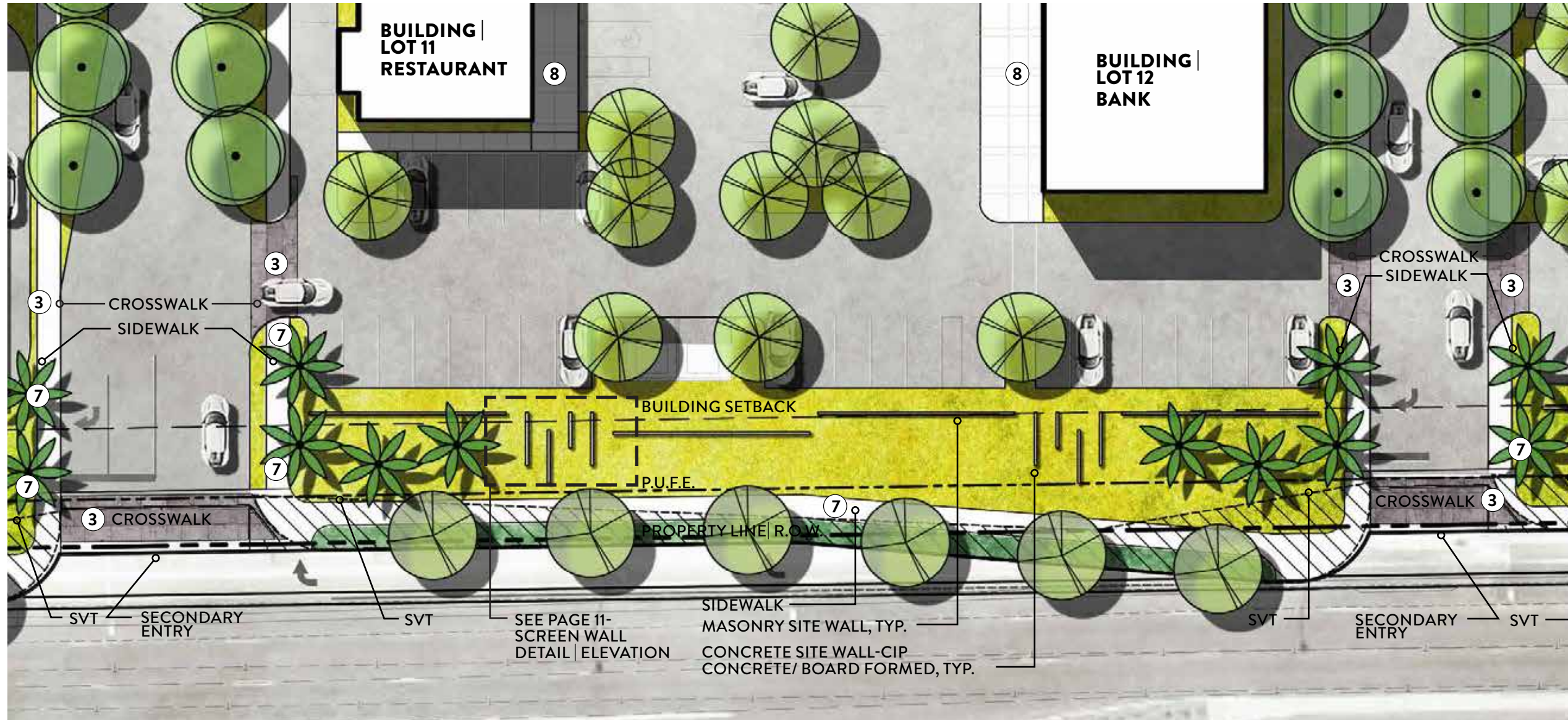
- ① MATERIAL: CONCRETE
FINISH: HEAVY BROOM
COLOR: GRAPHITE IRON OXIDE
- ② NOT USED
- ③ **OPTION 1**
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: LIGHT MESA BEIGE
OPTION 2
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM |
SANDBLASTED PATTERN
COLOR: KAILUA
- ④ **OPTION 1**
MATERIAL: PAVER
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: GRAPHITE
GRANADA WHITE
MOCHA BROWN
OPTION 2
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM
COLOR: PEBBLE
PEWTER
GRAPHITE IRON OXIDE
OPTION 3
MATERIAL: CONCRETE
FINISH: ACID ETCH
COLOR: PEWTER
- ⑤ **OPTION 1**
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: YELLOW
OPTION 2
MATERIAL: CONCRETE
FINISH: SANDBLAST
COLOR: PALOMINO
- ⑥ **OPTION 1**
MATERIAL: PAVER
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: GRAPHITE
GRANADA WHITE
MOCHA BROWN
OPTION 2
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM
COLOR: PEBBLE
PEWTER
GRAPHITE IRON OXIDE
- ⑦ MATERIAL: CONCRETE
FINISH: NATURAL
COLOR: NATURAL

L-107
Main Entry (1"=30')



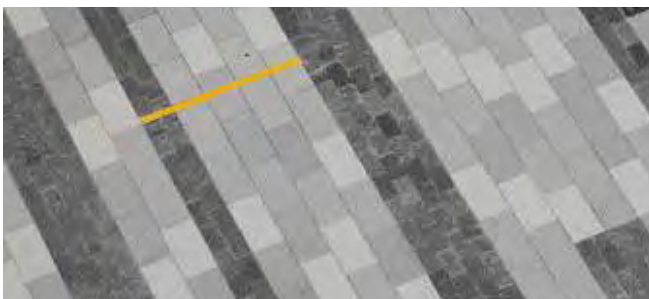
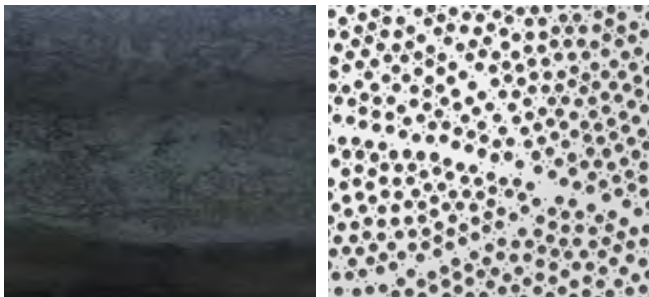
KEY NOTES

- ① NOT USED
- ② NOT USED
- ③ **OPTION 1**
MATERIAL: PAVERS
ACKERSTONE: LINEAR PAVING
STONE (4"X12")
COLOR: LIGHT MESA BEIGE
- OPTION 2**
MATERIAL: CONCRETE
FINISH: MEDIUM BROOM |
SANDBLASTED PATTERN
COLOR: KAILUA
- ④ NOT USED
- ⑤ NOT USED
- ⑥ NOT USED
- ⑦ MATERIAL: CONCRETE
FINISH: NATURAL
COLOR: NATURAL
- ⑧ MATERIAL: PAVERS
ACKERSTONE: PALAZZO (24"X24")
FINISH: MONACO
COLOR: ESPRESSO



5.4

LANDSCAPE DESIGN HARDSCAPE MATERIALS



The following are examples of appropriate hardscape materials which serve to define the material character which will be incorporated through all phases of Gallery Park.

WALLS AND SCREENS

Walls and screens shall complement adjacent buildings and be constructed in similar fashion. Neutral hues ranging from creams to warm charcoal are encouraged to be timeless in nature and authentic to the sense of place.

CONCRETE

- Board Form
- Sandblasted
- Smooth Form with expressed form ties

CMU

- Burnished finish
- Standard finish
- Integral Color

BRICK

- Natural Tones

LIMESTONE

- Regionally sourced
- Varied colors, sizes and textures

METAL

- Natural Mill Finish Steel
- Powdercoat Finish
- Perforated or laser cut
- Imprinted or etched
- Steel mesh

PAVING

CONCRETE

- Acid etch | Sand finish
- Exposed Aggregate
- Integral Color
- Stained

PAVERS

- Concrete in Natural tones and in rectilinear shapes
- Brick in Natural tones

SEATWALLS

- Cast in place Concrete
- Wood
- Masonry

5.5

LANDSCAPE DESIGN SITE AMENITIES

Gallery Park amenities are programmed for everyone from 8 to 80. The Park (which will be constructed as part of the phase that includes Lot 17 and/or Lot 18) serves as the epicenter for these amenities. Areas will be designated for high-energy activities, leisurely recreation, and quiet respites. Outdoor spaces will be designed to include the following:

- Outdoor movie night
- Outdoor living rooms with fire or water features
- Restaurant waiting areas with soft furniture
- Stage / concert venue
- Picnic areas
- Bike paths
- Open space for lawn games
- Plaza for community events
- Designated car service drop off/pick up areas
- Valet parking areas

GALLERY PARK, MESA



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5.6

LANDSCAPE DESIGN

SITE FURNISHINGS

Site furnishings at Gallery Park should reflect the welcoming feel of the community. Seating should encourage a variety of social interactions: large group gatherings, small intimate pairs, and quiet solitude. Benches, chairs, built-in and movable furniture will all be available throughout the property. Seating materials will include concrete, masonry, natural wood, as well as colorful metals.

All furnishings included in the streetscape should be consistent and provide a repetitive pattern. Benches within the streetscape zone should be surface-mounted and not be movable.

Furnishings show are intended to communicate the general aesthetic for Gallery Park. Alternate furnishing manufacturers, models, and designs (of similar quality) may be submitted and are subject to VIVO approval, which approval may be withheld in VIVO's sole and absolute discretion for any reason.

BIKE RACKS



BOLLARDS



PLANTERS



PLANTERS CONT.



Note: Main Street Only



SEATING



5.7

LANDSCAPE DESIGN

LANDSCAPE LIGHTING

Landscape lighting will include parking, pole lights, bollards, uplights, flood lights, and down lights. Specialty lighting, such as lighting built into furniture, catenary lights, lighting as art, are highly encouraged. Wherever possible, lights bulbs will be LED to help cut energy consumption and support sustainability.

Lot Owners shall provide Landscape Lighting reasonably necessary or appropriate for Common Area security. Lighting for the Common Area shall remain on when a majority of the businesses within Gallery Park are open for business, unless otherwise restricted by any applicable laws or ordinances. Each Lot Owner shall coordinate its' lighting schedule with the rest of Gallery Park Common Area lighting.



Primus, Stringlight Systems with Volt Tree Strap Mounting Kit
Main Axis, Park, and Special Use Areas



Lador, ULD-200002 Cluster Column
Park



Kim, Ouro UR Post
Main Axis, Mid Axis, and Park



KIM-VRB, Bollard Light
Park and Pedestrian Areas



36" high (minimum)
24" dia. concrete base
Kim, Ouro UR Arm on 20 ft to 35 ft Pole
Parking Lots

General Note:

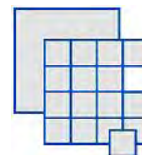
Lights shown are intended to communicate the site lighting strategy for Gallery Park. Alternate fixture manufacturer, model and design (of similar quality) may be submitted and are subject to VIVO approval, which approval may be withheld in VIVO's sole and absolute discretion for any reason.

GALLERY PARK

NEC Power & Ray



Submitted by:



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

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Mesa, AZ 85204
Phone: (480) 461-4670
Email: ralph.pew@pewandlake.com

On behalf of:

VIVO Development Partners

VIVO

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Introduction

Pew & Lake, PLC, on behalf of VIVO Development Partners, LLC (“Developer”), is pleased to submit this narrative statement in support of the formal entitlement/development applications being submitted to the City of Mesa for GALLERY PARK at Mesa. GALLERY PARK is a unique, mixed use development on roughly 40 net acres, located on the east side of Power Road, between the 202 Santan Freeway and Ray Road in southeast Mesa (APN: 304-30-012E), as shown below:

Figure 1 – Aerial Vicinity Map



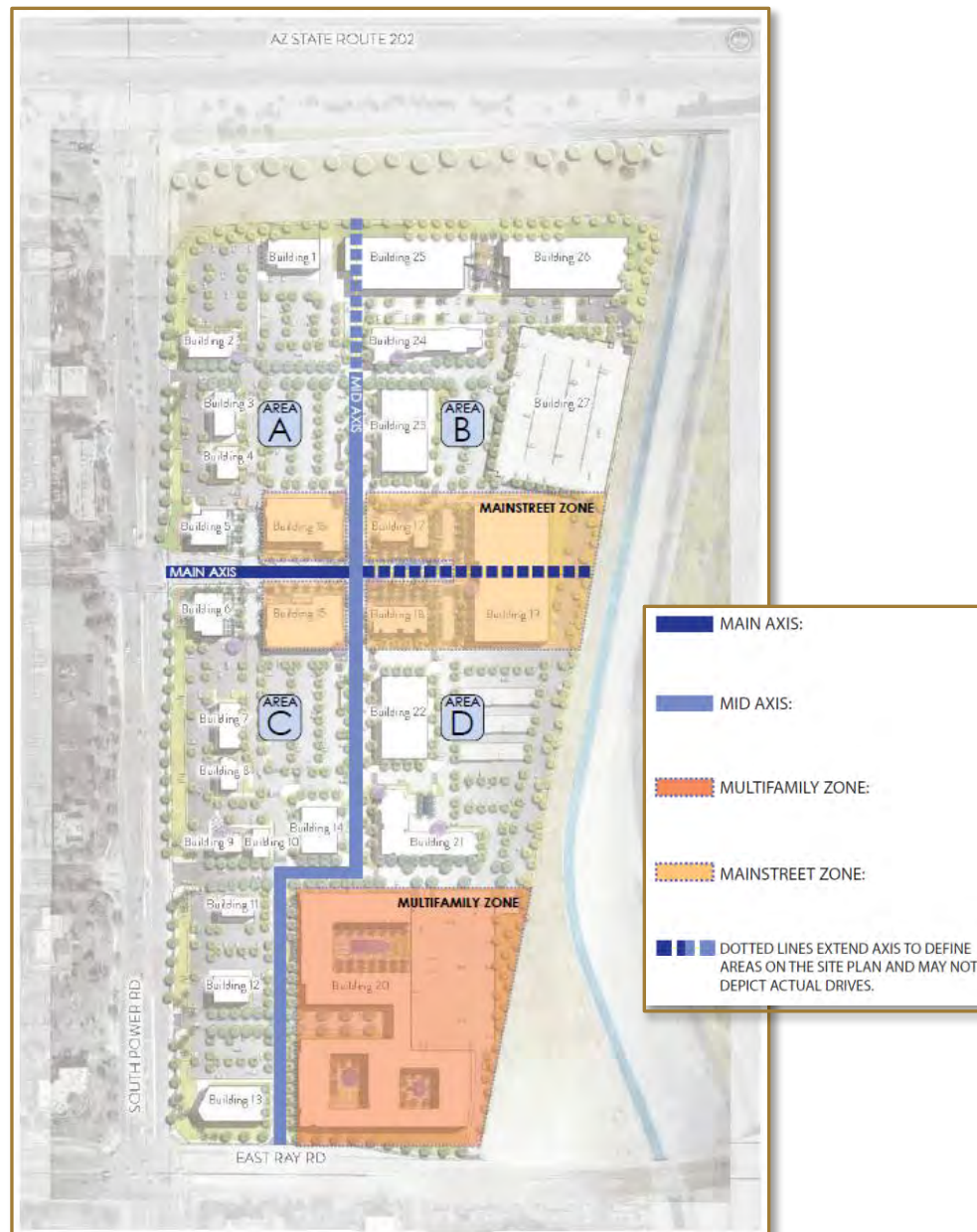
GALLERY PARK and the proposed LC-AF-PAD zoning will result in an exciting commercial, employment, and residential regional destination for Mesa and surrounding jurisdictions. The proposed development, designed by the well recognized Nelson Partners Architects & Planners, offers a unique mixed use development with entertainment, retail, office, college, hotel, and multi-family residential uses. The development plan synthesizes these uses via an efficient, interconnected circulation and pedestrian plan with buffers and transitions to the complimentary land uses.

As will be demonstrated in this narrative, GALLERY PARK establishes a development plan with PAD development standards, Site Planning Guidelines, and Design Guidelines that tailor this project to the the arterial and commercial land use context, the General Plan Character Area, the Mesa Gateway Strategic Development objectives, and the purposes and intents of the Zoning Ordinance. The purpose of the proposed PAD is to create development standards and guidelines to inform the orderly growth of the development as proposed in these requests and to allow flexibility in the future for minor modification. The end result will be to establishe GALLERY PARK as the principal element of an important gateway into the City of Mesa.

Specifically, the development potential includes multi-story hotels, a movie theater/entertainment use, vertical mixed use retail/commercial/residential, several commercial pads for restaurants and other commercial uses, multi-story buildings with space for both offices and college/trade school uses, a multi-family apartment use, and ancillary residential commercial services, such as a salon/fitness center. Garage parking is also proposed to promote efficient use of the property.

The proposed uses are thoughtfully laid-out along a central access/pedestrian corridor off of Power Road and a secondary north-south corridor that divides the site into four quadrants as depicted in the figure below. The access ways dividing the site are identified as the Main Axis (East-West) and the Mid Axis (North-South). The Main Axis off of Power Road establishes the spine for a traditional, Mixed Use Main Street character with modern elements. The Mid Axis complements the Main Axis and provides for both pedestrian connectivity and site cohesion.

Figure 2 – Site Plan Quadrants



On the northeast portion of the site, commercial offices, restaurants, and hotel-type uses are proposed. In the property's northwest and southwest sections, Restaurants and retail/commercial buildings will line the property's west frontage along Power Road. Finally, the southeast section of the property adjacent to Ray Road and the Mid Axis is planned for the property's multi-family use component. In this area, complimentary commercial/hotel uses are located between the residential uses and the Main Street themed portion of the site.

To summarize, the proposed site plan and plat includes approximately 28 lots laid-out in an efficiently planned mixed use commercial plat with the following uses:

- 1 movie theater/commercial entertainment, and/or commercial recreation use
- 14-16 restaurant/commercial buildings, with approximately 2-5 having vertical mixed use commercial/residential and/or mixed use retail/commercial along the site's Main Axis
- 2 hotels
- 4 retail/commercial buildings
- 3-4 office/commercial buildings
- 1-2 parking structures
- 1-2 apartment buildings
- Total Commercial: approx. 654,350 SF
- Total Residential: approx. 449,520 SF
Apartments (SEC of site): 420 units
Mixed use Condos/Lofts (Main Street): 39 units



Development Requests

The following development requests are concurrently submitted to the City of Mesa for approval:

1. **Annexation** (*under separate application*) of approximately 40 net acres of state land (from unincorporated Maricopa County into Mesa city limits).
2. **Rezoning** of approximately 40 net acres from Maricopa County AD-2 (Airport District II) to City of Mesa Limited Commercial (LC) zoning with AF (Airfield) and PAD (Planned Area Development) Overlays. In conjunction with the rezoning, a **PAD** is requested for enhanced design and limited modifications to development standards and site planning/design review procedures.
3. **Council Use Permit** for Multiple Residence uses that are part of a mixed use development with a density that exceeds 25 du/ac in LC zoning. .
4. **Council Use Permit** for certain uses in the Airfield Overlays:
 - Multiple Residence uses in the AOA-2 zone
 - Commercial Entertainment use in the AOA-2 overlay
 - Hotels in the AOA- 1 and AOA-2 overlays
 - Colleges and Commercial Trade Schools in the AOA-1 and AOA-2 overlays



5. **Site Plan** approval for the development of 40 net acres and specific site plan PAD approval.
6. **Design Review** approval of GALLERY PARK and its site plan, development standards, Site Planning Guidelines, and architectural Design Guidelines.
7. **Preliminary Plat** of 40 net acres for a mixed use commercial subdivision.

By separate applications, the applicant will also be requesting the following for signage:

- **Council Use Permit** for freeway landmark monument signs
- **Special Use Permit** for a comprehensive sign plan

Site Airport Overlay Area Context

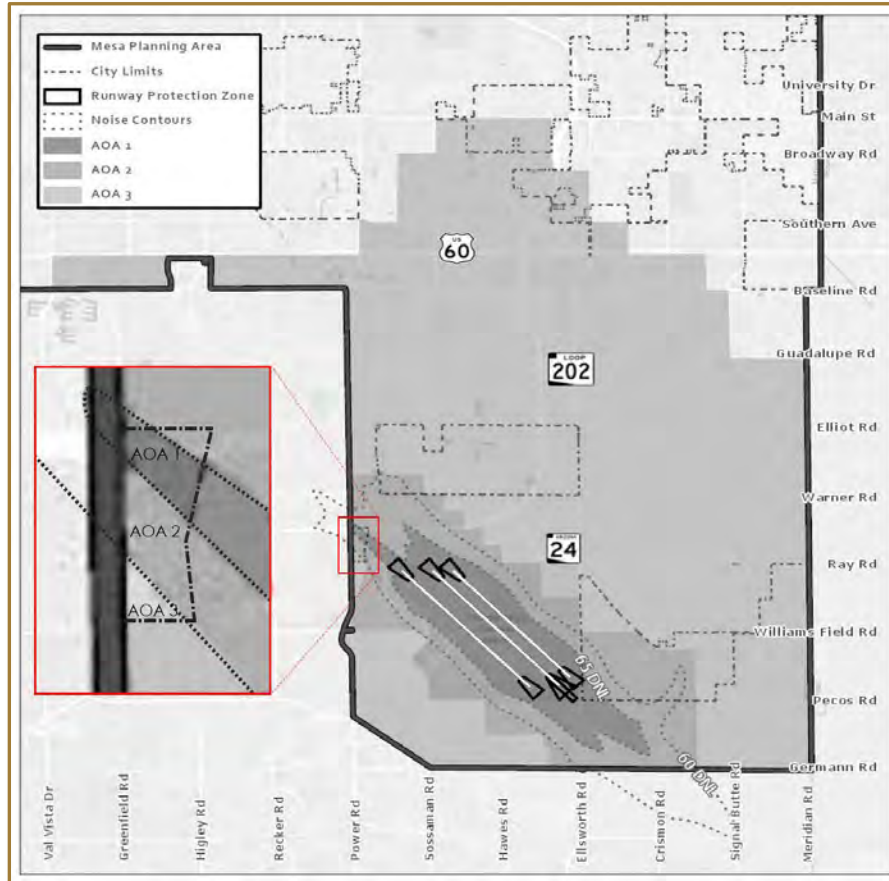
The subject site is State land located in unincorporated Maricopa County. In early 2018, the City of Mesa adopted revisions to Chapter 19 of the Airfield Overlay District, and portions of the subject property were reclassified to the AOA-2 and AOA-3 Airport Overlay Areas. Chapter 19, the related development standards sections of the MZO, and comments provided from the airport are designed to mitigate the noise impacts by limiting certain uses and providing for notice to property owners of the effects of the proximity to the Airport.

A small portion of the property's northeast corner lies within Airport Overlay Area-1, with the balance of the property predominately within the Airport Overlay Areas-2 and 3. As prescribed herein and in the GALLERY PARK Site Planning Guidelines and Design Guidelines included in the Appendix, the site's design and proposed uses are consistent with the Airport Overlay Area's development criteria and intent to emphasize higher intensity uses that are more compatible with the subject's location.

The proposed development's land uses and development plan are compatible with the Airport Overlay requirements. Furthermore, the development of the property is not anticipated to affect or influence airport expansions. As noted in the staff report for the Airport Overlay amendments, as the airport expands to handle additional commercial flights, the sound footprint will actually decrease as aircraft become more quiet and efficient, in comparison to past military and commercial flight equipment.



Figure 3 – AOA Flight Overlay Map

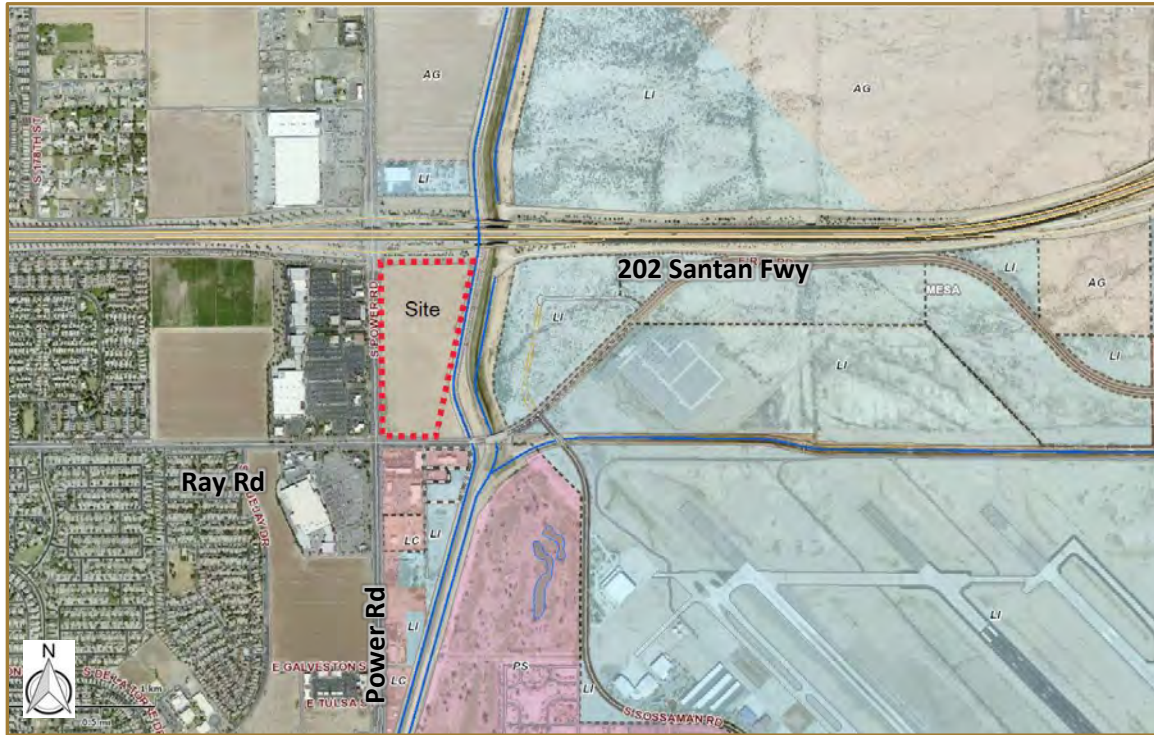


Existing & Surrounding Conditions

The site lies just east of the Power Road boundary between the City of Mesa and the Town of Gilbert. To the west of the site in Gilbert are two fully developed traditional power centers, commonly known as Gilbert Gateway Towne Center, with both Walmart and Target anchors. Directly to the north is the 202 Santan Freeway. To the east is undeveloped property owned and maintained by the Maricopa County Flood Control District and the Roosevelt Water Conservation District, and south of Ray Road is Gateway Airport Crossing, a commercial development with a hotel, restaurants, a bank and other service-oriented businesses.

The site is ideally located with not only visibility from, but direct access to the 202 Santan Freeway from Power Road. The site has convenient access to Power Road on the west and Ray Road to the south. The entrance to the Phoenix-Mesa Gateway Airport is immediately east of the property, on Ray Road.

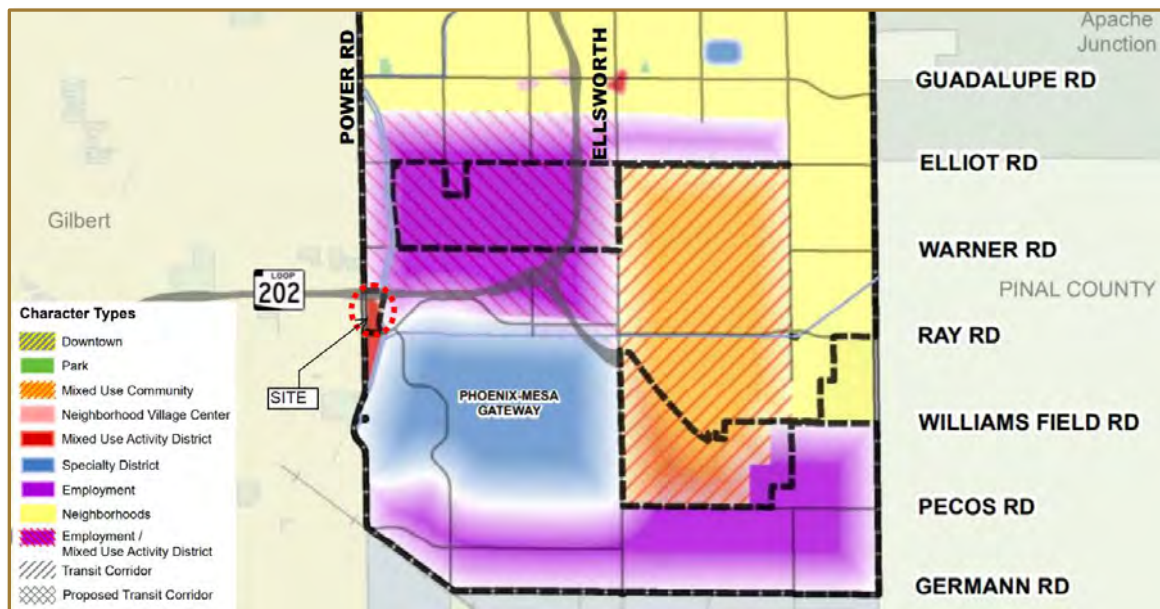
Figure 4 – Existing & Surrounding Zoning



General Plan & Gateway Strategic Development Plan

The existing General Plan Character for the property is Mixed Use Activity District. The site is surrounded on the west and south by other commercially developed land and industrially developing properties to the east closer to the Mesa Gateway Airport “campus”.

Figure 5 – Existing General Plan Character Areas



1. General Plan Mixed Use Activity District Character Area

GALLERY PARK fully implements the goals and objectives of the Mesa 2040 General Plan. The General Plan describes the Mixed Use Activity District Character Area as:

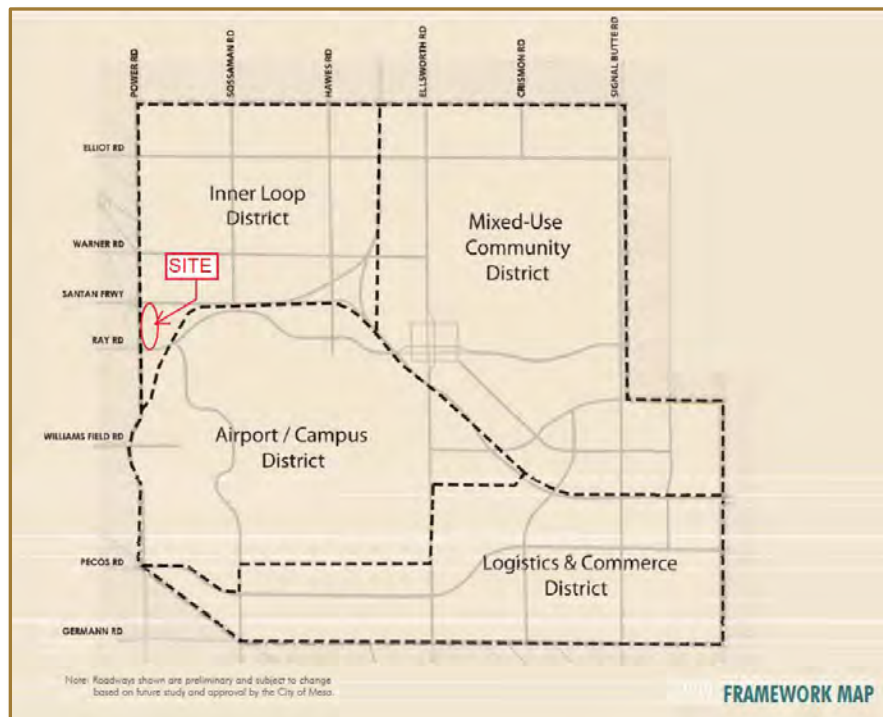
*“largescale (typically over 25 acres) community and regional activity areas that usually have a significant retail commercial component including shopping areas such as malls, power centers, or **lifestyle centers that are designed and developed to attract customers from a large radius.** These districts often include other uses such as office, entertainment and residential. The goal is to help these districts be strong and viable centers of commercial activity that attract people to unique shopping and entertainment experiences.”*

At 40 net acres, the site qualifies as a larger scale mixed use development with a significant retail commercial component, entertainment opportunities, office, and residential uses that are consistent with the uses contemplated in the Character Area. Furthermore, GALLERY PARK’s hotels, movie theater, and product mix embodies the type of regional “lifestyle center” that will attract consumers, residents, and employees from nearby jurisdictions.

2. Gateway Strategic Development Plan

As shown below, the Mesa Gateway Strategic Development Framework Plan has identified and delineated the property as being located within the “Inner Loop District”. The character area contemplated and envisioned by the City of Mesa is the very type of development proposed by GALLERY PARK.

Figure 6 – Framework Plan of the Mesa Gateway Strategic Development Plan



The Strategic Development Plan's vision for this specific area of the City was a:

“new vision [to] embrace a more integrated development pattern with more flexibility in locating land uses. This plan recognizes that a mix of uses in close proximity to each other is vital to creating livable and sustainable places that will grow well over time and retain their value.”

GALLERY PARK will accomplish that intent by synthesizing into the development plan a compatible mix of retail/commercial, office, and residential uses. The Property will attract customers and capture additional sales tax from outside the City, as Gilbert, Queen Creek and Chandler residents living in the vicinity will patronize the businesses and restaurants within the center.

The following goals envisioned in Mesa's Strategic Development Plan are fully met with the GALLERY PARK development proposal:

- Greater intensification than typical suburban development.
- Freeway frontage will be devoted to employment and retail uses.
- High quality design of building and site plans will be adopted to set the standard for high-quality.
- Developments laid out with a high degree of connectivity.
- Designs will provide for human safety and comfort through shade and cooling strategies, solar orientation, and the deliberate use of materials to reduce solar radiation and the heat island effect.

Inner Loop District goals listed below are satisfied by the GALLERY PARK proposal:

- The District should provide a high-quality, mixed use environment that is compatible with increasing over-flight activities associated with Phoenix-Mesa Gateway Airport operations.
- Over time, flexibility will be important as development should begin to transition to mixed uses, with concentrations of light industrial, office, and retail, with a possibility of higher-density residential uses in the future.
- Village centers will provide areas that attract pedestrians and are to be built at a scale comfortable for those traveling by foot or bike. They will include uses such as retail, offices, services, high-density mixed use residential, and open spaces. They are to be urban areas designed for pedestrian circulation and transit networks. Future residential uses must demonstrate their ability to address the impacts of aircraft operations and not limit the development and expansion of Phoenix-Mesa Gateway Airport.



LC-AF PAD Zoning District

1. Introduction

The subject property is currently zoned AD-2 (Maricopa County). The rezoning request consists of a zone change to LC-AF-PAD with accompanying CUP requests to allow hotels, movie theater/commercial entertainment uses, colleges and commercial trade schools, and residential uses.

The AF overlay ensures that the property is subject to the Airfield Overlay supplementary provisions of MZO Section 11-19-5, such as the requirements for (a) aviation easements; (b) notification to buyers; (c) disclosures on final subdivision plats, public reports, and at real estate/similar sales and leasing offices; and (d) noise level reduction, when applicable to the type of development.



2. Purpose and Theme

The PAD overlay is for the purposes of establishing a unique, customized LC zone specifically for GALLERY PARK. Inspiration for the development was primarily derived from MZO's goals and objectives of the General Plan and Gateway Strategic Development Plan and the unique location of the property. The following statement prefaces the Gateway Plan design standards chapter, and GALLERY PARK's site specific Design Guidelines emulate this introductory concept:

“With the emphasis on form as opposed to use, these graphics will also serve to demonstrate how building types might be mixed among each other to create the character desired within particular areas of the plan. Height, density, and other building characteristics of similar nature within an area will allow for mixed uses to occur while the form remains consistent and complementary. This section also includes models and photos of buildings with mixed uses. These buildings not only help to meet the needs of a live/work/play environment, but can also provide transition both in form and use.”



GALLERY PARK also complies with the purposes outlined in Section 11-6-1 of the MZO, which among other things, provides for the following themes:

- Well-planned, balanced growth of commercial areas
- Expand office uses and the variety of goods and services
- Encourage mixed use commercial/residential uses to reduce vehicle miles traveled
- Establish development standards to ensure an attractive development along streets
- Promote development features that support a pedestrian-sensitive environment
- Provide appropriate buffers and transitions between commercial and residential uses given the mixed use context

As it relates to the LC zoning district intent, the proposed development plan is consistent with MZO Section 11-6-1-B-2, which contemplates “retail, entertainment and service-oriented businesses,” as well as large format anchors and uses “typically located within a regional mall, retail outlet, or power center.” GALLERY PARK also satisfies this section’s intent to support compatible office uses and entertainment, public, and semi public uses.

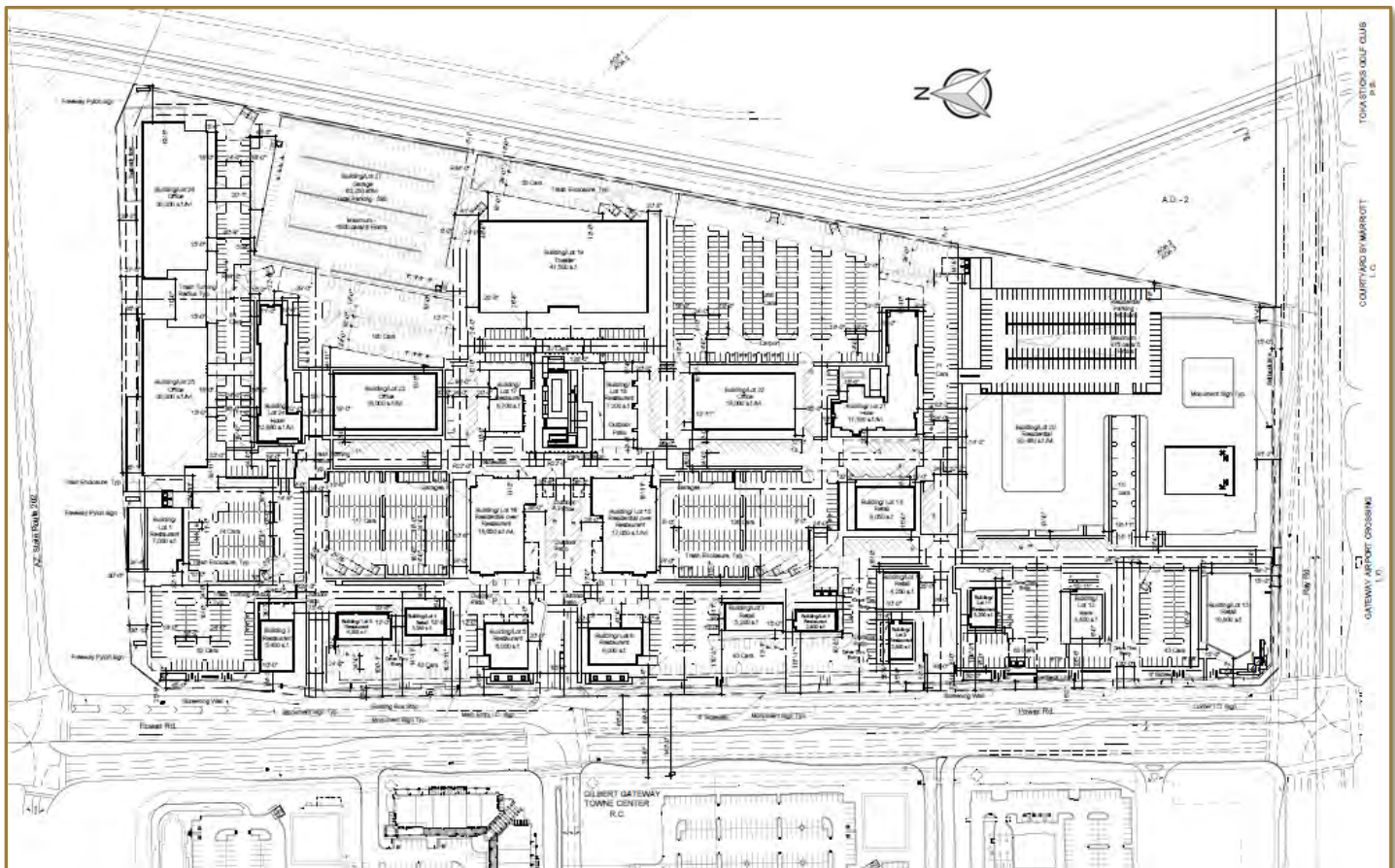
In summary, the GALLERY PARK development plan and proposed LC-AF-PAD zoning create a project tailored to the land use context, General Plan, Mesa Gateway Strategic Development, and Zoning Ordinance. It establishes a multi-use destination for this important gateway into Mesa.



3. Project Description

As indicated previously, GALLERY PARK is designed to be a regional destination with both horizontal and vertical mixed use commercial and residential uses. The total site area is 57.75 gross acres (40.23 net acres). The total building square footage of the proposed development is 1,099,200, which is 63% of the total net area of the subject property. This space will be predominantly occupied by commercial uses.

Figure 7 – Proposed Gallery Park Site Plan (see Appendix 3)



As illustrated in the above Site Plan, GALLERY PARK's vertical mixed use area is centered on the Main Axis, the end of which lies a pedestrian plaza and movie theater. The primary uses in the project's northeast section are office, college, commercial trade schools, and hotel uses. Restaurant and retail/commercial pads front Power Road along the property's west boundary. Multi-family apartment homes are located at the southeast portion of the site, north of which is located a hotel and office building as one approaches the movie theater. The various uses onsite are linked by a system of tree-lined pedestrian pathways.

a. Gallery Park Uses and Site Plan Data

The table below includes information from the site plan that summarizes the proposed project with colors indicating similar land uses.

Table 1 – Project Uses and Site Plan Data

Lot	Anticipated Use	Blg. Area (SF)	Lot Area (SF)	Lot Ac.
1	Restaurant	7,000	61,770.27	1.42
2	Restaurant w/ Drive-thru	5,400	54,563.10	1.25
3	Restaurant w/ Drive-thru	4,300	27,594.00	0.63
4	Restaurant	3,350	18,405.84	0.42
5	Restaurant	6,000	32,937.19	0.76
6	Restaurant	6,000	38,175.26	0.88
7	Retail/Commercial	5,200	31,551.14	0.72
8	Restaurant w/ Drive-thru	2,800	27,017.51	0.62
9	Restaurant w/ Drive-thru	2,800	19,574.56	0.45
10	Retail/Commercial	4,250	13,742.20	0.32
11	Restaurant w/ Drive-thru	3,200	38,956.52	0.89
12	Bank w/ Drive-thru	4,400	35,172.81	0.81
13	Retail/Commercial	10,800	58,847.59	1.35
14	Retail/Commercial	8,050	54,501.70	1.25
15	Vertical Mixed Use	51,150	75,719.43	1.74
16	Vertical Mixed Use	49,950	100,404.48	2.30
17	Restaurant/Vertical Mixed Use	6,700	26,105.68	0.60
18	Restaurant/Vertical Mixed Use	7,200	27,712.67	0.64
19	Theater/Commercial Entertainment/Vertical Mixed Use	47,500	110,127.75	2.53
20	Residential	369,920	278,142.02	6.39
21	Hotel 1	85,500	95,283.35	2.19
22	Office	54,000	131,152.59	3.01
23	Office	54,000	78,261.65	1.80
24	Hotel 2	64,400	49,824.37	1.14
25	Office	120,000	70,495.30	1.62
26	Office	120,000	80,084.83	1.84
27	Parking		97,809.87	2.25
28	Outdoor Park		18,341.62	0.42
	Total	1,103,870	1,752,275.29	40.23



b. Solid Waste Collection

GALLERY PARK's site plan will provide for safe and efficient solid waste collection. Trash and recycling collection bins will be located at designated areas to consolidate collection services for multiple parcels at shared locations, thereby minimizing the visual impact of numerous collection sites. In addition, trash compactors will be provided, and valet/porter trash collection services will be incorporated into the development operations for those buildings utilizing said compactors. Property ownership will create an association and record shared maintenance agreements and related easements to maintain common areas and to ensure the ongoing management of the site's refuse collection.

Consistent with Zoning Ordinance standards, collection bins and compactors will comply with the M62 standards for solid waste, traffic, and fire safety standards and will be screened from view in enclosures with a minimum height of 6 feet. The enclosures' design, materials, and construction will be integrated into the site design, comply with this PAD's Design Guidelines, and will include decorative gates composed of a solid, heavy-gauge metal or a heavy-gauge metal frame and use materials that will screen collection bins from view.

As the project develops, the solid waste facilities will be reviewed for approval under this PAD's administrative site plan review for each phase as provided in the sections entitled "Site Plan Review: Use and Configuration Flexibility" and "Design Review."

4. Permitted Uses

This PAD incorporates the LC use regulations under MZO Section 11-6-2, except that residential uses will be limited to the Mainstreet Zone along the Main Axis and Multifamily Zone as outlined in the Site Planning Guidelines herein. The CUP requests comply with the MZO requirements for the respective use categories and AOA-1 and AOA-2 overlays.

5. Development Standards

In this case, the combination of planning tools, including the PAD zoning, Site Planning Guidelines, and Design Standards, allow this project to fit neatly within the requested zoning district. This PAD incorporates the development standards established in the MZO Section 11-6-3 LC zoning, and all other applicable zoning sections. GALLERY PARK also contemplates a few minor deviations that are justified by the project's enhanced characteristics that exceed zoning standards and by the proposed development's unique features.

The table below lists the development standards deviations, which are shown in bold with an asterisk and a letter that corresponds to Section 6 of this Project Narrative where the deviations are discussed in further detail.



Table 2 – Development Standards

	Mesa ZO Required	Gallery Park Proposed *Deviation	Deviation #
Maximum Building Height	30 ft.	100*	(a)
Minimum Building Setbacks			
Front and Street Facing Side: Arterial: Freeway:	15 ft. 30 ft.	8 ft.* See below*	(b)
Interior Side/Rear Adjacent to Non-Residential Zoning	15 ft. (each story)	Setback to east property line fronting the canal: 5 ft.*	(c)
Minimum Separation Between Buildings on Same Lot			
Blg. Height ≤ 20 ft.	25	0 ft.*	(d)
Blg. Height between 20-40 ft.	30		
Blg. Height > 40 ft.	35		
Additional Standards for Residential Development in LC Zoning			
Minimum Outdoor Living Area (SF/unit)	100	See below*	(e)
Private Open Space (SF/Unit)	60 (0-1 Bed) 100 (2 bed) 120 (3-bed)	See below*	(f)
Landscaping Standards		See below*	(g)
Parking Standards		See below*	(h)
Truck Docks, Loading Area Separation		See below*	(i)

6. Deviations to Development Standards to Support GALLERY PARK’s Mixed Use Form

The nature of GALLERY PARK is distinctive in its efforts to integrate office, college, retail, entertainment uses with multi-family residential and open space amenities. Given the unique location for each of these uses required to make the high-quality mixed use concept succeed, special zoning standards are applied. Because of the location and form of the proposed buildings, strict application of the regular zoning standards for LC zoning would not permit GALLERY PARK to create the intended vibrant mixed use atmosphere. As such, deviations are proposed that make up part of the overall development standards, which together with the Design Guidelines, will enable the development to offer this vibrant, regional mixed use destination.

a. Building Height

The proposed maximum building heights are described in the list and figure below:

- 35-40 feet for restaurants and retail/commercial pads located generally along Power Road as shown in the below figure



- 85 feet for the Mainstreet Zone and apartments, hotel and commercial uses southeast of the Mainstreet Zone as shown in the below figure
- 100 feet for the office uses, commercial uses, hotels and parking structure in the northeast section of the subject property as shown in the below figure
- Notwithstanding the above, 100 feet for offices and hotels located anywhere on the subject property, so long as they self park, as noted in the below figure
- It is further noted that building heights will be subject to FAA approval.

Figure 8 – Building Height Exhibit



MAX HEIGHT WITH VIVO APPROVAL

Max heights by zone apply to all uses. Any proposed building height is subject to VIVO approval, which approval may be withheld in VIVO's sole and absolute discretion for any reason. Office and Hotel shall be allowed 100' max height anywhere so long as these uses sufficiently self park.

BOUNDARY ADJUSTMENT

Height zone boundaries shall be adjusted to align with lot lines from the final recorded subdivision plat, which adjustments shall substantially conform to this exhibit.

LEGEND

- 35' MAX
- 40' MAX
- 85' MAX
- 100' MAX

The Zoning Ordinance permits approval of building heights above the typical LC zoning height regulations for situations involving proposed developments, such as GALLERY PARK, which given its unique location and mixed use style, has been designed with building heights aimed at creating greater activity and intensity at concentrated nodes. The proposed heights are reasonable and appropriate given the overall scale of this project. GALLERY PARK's amenities and pedestrian/open space plan, and its proximity to the Loop 202 Freeway, arterials, regional commercial uses, and employment use zoning all support the proposed building heights.

b. Front and Street Facing Side Setback:

For GALLERY PARK's frontage along Ray Road only, a minimum 8-foot front setback is proposed, because of the property's unique shape and configuration in relation to the Ray Road right-of-way. The City's 75-ft right-of-way requirement on this already-developed street will increase the amount of landscaping in the right-of-way that the property owner will install and maintain. Additionally, the frontage tapers and gets wider as one moves from west to the east, which will incrementally increase the landscaping. Because of the right-of-way size and proposed landscape plan, there will be ample perimeter landscaping and open space necessary to provide for the site's natural visual appeal and support GALLERY PARK's distinct character.

In addition, to the extent necessary in the area along the Loop 202 Freeway frontage, setback standards are modified to allow to accommodate Freeway Landmark Monument signs (FLM) and billboards in the 30-foot Freeway front or side setback area, subject to approval of a separately submitted CUP for the FLM. This complies with the Zoning Ordinance's intent to leave perimeter landscaping areas free from encroachment of buildings, but to allow ancillary uses in the perimeter landscaping, such as stormwater retention, screening walls, and monument signs incidental to the site.

c. Side/Rear Building Setbacks

The proposed setbacks are as shown on the PAD development standards table and apply to the perimeter of GALLERY PARK, which qualifies as a group commercial center under the MZO. A five-foot setback is proposed for the east property line, thereby accommodating the multi-family portion of the development at the southeast corner of the overall site and the stand alone parking structure located on lot 27. This deviation applies to a limited percentage of the entire canal adjacency of the current site plan given the extent and location of driveways, parking fields, and landscaping. This requested setback modification is a component of the overall purpose of mixed use development to make efficient use of property based on unique site conditions. For example, GALLERY PARK utilizes structured parking, which helps create a smaller building footprint and conserve space.

This 5-foot setback is justified because approximately 255 ft. to 650 ft. of separation exists between the subject property and the private property east of the canal. The first part of this separation is a strip of land owned by the Roosevelt Water Conservation District that is between approximately 10 ft. and 300 ft. in width. Next is the approximately 90-foot wide canal property. Then, to the east of the canal is a 155-ft. to 420-ft. wide Flood Control District parcel reserved for



drainage and retention. Combined, the total separation far exceeds the desired minimum separation for a building setback.

The proposed setback will enable the proposed development to provide greater visual access to the adjacent public and open space areas, which will enhance the environment for onsite users. The same depth of buffer is not as necessary along this canal frontage as, for example, along the adjacent arterial roads, where the project meets or exceeds zonings setback standards.

Given the adjacent employment use zoning that is 255 ft. to 650 ft. away, the proposed deviation will not negatively affect those properties east of the canal. Visibility to this portion of the subject site will be greatly limited, and the nature of the adjacent employment zoning allows uses that will not be harmed by the uses proposed in GALLERY PARK, especially given the separation created by non-developable land between the properties.

Moreover, the modified setback standard will enable the project to implement the desired quality architectural and site design, and address the unique needs of the individual building occupants.

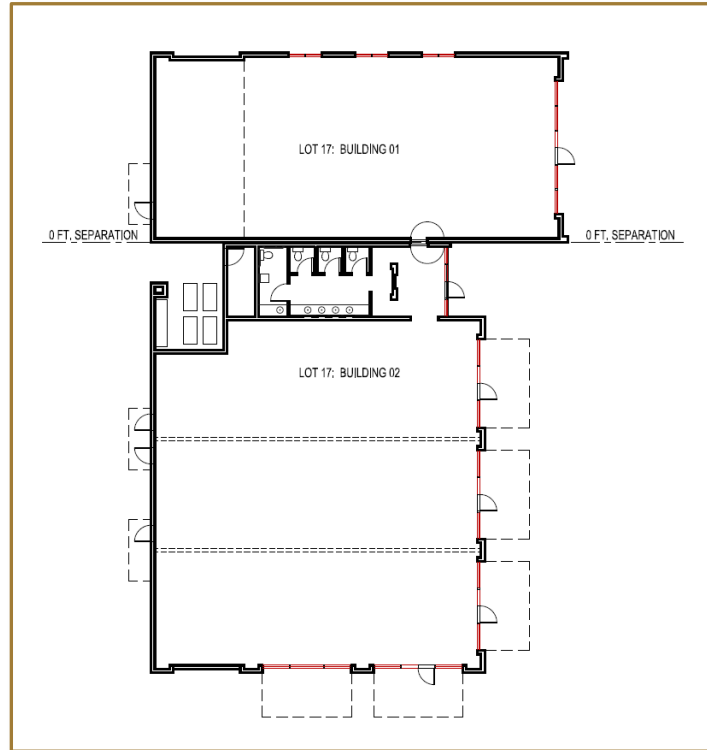
d. Minimum Building Separation on Same Lot

The GALLERY PARK Preliminary Plat is divided into several individual commercial lots thereby establishing appropriately-designed minimum separation between buildings on separate lots on the site. However, in accordance with the proposed development plan, the minimum separation for buildings on the same lot will be zero feet. This deviation will enable buildings within an individual lot in this mixed use development to abut one another, thereby acting as a whole building while preserving site safety and the integrity of the overall pedestrian network and open space amenity plan as approved.

All buildings within the project, including those on the same lot, will comply with all applicable building codes and standards with the modifications and enhancements provided in this PAD to support the proposed mixed use development. This standard increases convenience for pedestrians and enhances connectivity between the interior and outdoor environment. The figure below provides a representative concept of this proposed deviation to indicate how this standard might be integrated into the mixed use development plan.



Figure 9 – Sample Building Separation Concept



e. Minimum Outdoor Living Area

The proposed Minimum Outdoor Living Area will be reduced by 20% to 80 sq. ft./unit. All other open space requirements will be met except as provided below for Private Open Space. This adjusted standard is justified by the inherent nature of this mixed use plan. The lofts above commercial and the apartments in the southeast corner of the site are not typical stand-alone residential uses independent of their surroundings. Rather, they are harmoniously integrated into a highly amenitized mixed use plan that provides a substantial amount of open space within directed access to the residential units. GALLERY PARK's shaded pathways and generous package of site amenities exceeds the level of amenities typically offered to residential uses.

f. Private Open Space

For similar reasons as outlined above, it is proposed the Private Open Space requirements outlined in MZO Section 11-5-5-(C)-1 be modified as follows: minimum 60 sq. ft. of private open space per unit for all units regardless of their number of bedrooms, and a minimum of 50% of the units must comply with this standard. For example, in a 420-unit building, 50% of the units (210 units) would be required to have balconies, and the minimum balcony size would be 60 sq. ft. The proposed development will comply with all other private open space requirements.

As described previously, GALLERY PARK provides generous landscaping, open space, and amenities for the benefit of residents in both the apartments and mixed use commercial-residential loft. We have found many residents in mixed-use environments have a preference for no balcony and will rely on the mixed use environment's high level of amenities to enjoy the



outdoor environment. Therefore, for some of the residential units, we would like to provide this option to prospective residents. The overall site acreage for open space and amenities ultimately provides a high-quality outdoor environment with shaded pathways and amenities that are located in close proximity to the proposed residential units.

g. Landscape Standards:

Perimeter Landscaping:

- Regarding perimeter landscaping under MZO Section 11-33-3 and Section 11-33-3-B-2, the proposed development complies with the perimeter landscape setback depth along Power Road, Ray Road, and the Loop 202. The proposed perimeter landscaping along the east property lines will be 5 ft., which is applied in conjunction with the proposed building setback on the PAD's development standards table, as discussed in the above subsection 6b – Side/Rear Building Setbacks.
- In addition, to the extent necessary in the area along the Loop 202 Freeway, the perimeter landscape setback standard, which allows uses such as “monument signs, parking screen walls, and retention basins” (§ 11-33-3-A-1), is modified to also allow Freeway Landmark Monument signs (FLM) and billboards in the perimeter landscape setback area in the 30-foot setback adjacent to the Loop 202 freeway, subject to approval of a separately submitted CUP for the FLM. This is consistent with the Zoning Ordinance's intent to maintain perimeter landscaping areas free from encroachment of buildings, but to allow ancillary uses, such as stormwater retention, screening walls, and monument signs.
- The applicant requests a deviation to the plant count along the perimeter landscaping that reduces the required number of trees from 1 tree every 25 linear feet of frontage along arterial streets to 1 tree every 40 feet (Table 11-33-3-A-4). The size of the trees will be a minimum of 36-inch box size. This will assist in complying with Gateway Airport's suggestion to limit excessive landscaping that may attract wildlife (e.g., birds) potentially hazardous to flight traffic.

Because of GALLERY PARK's mixed use intensity, high quality architecture, mixed use integration of various uses, the modified landscape standard is required to enable the project to stand out without extensive trees blocking visibility into the site. 1 tree per 25 linear feet of frontage will greatly obscure the development, hindering its ability to engage with the adjacent streets and to successfully market the unique development features and bring vitality to the project. Additionally, the proposed tree count is consistent with the perimeter landscaping count across the street.

Foundation Base Landscaping:

- By virtue of the uniform frontage needed for properties fronting the Main Axis, along the Main Axis and Mid Axis Only, the entryway extension depth under MZO Section 11-33-5-A-1-i is requested to be reduced from 20 ft. to 15 ft. Further, the minimum plaza area is requested to be reduced from 900 square feet to 500 square feet.



- Relating to Section 11-33-5-A-1, foundation base landscaping along the exterior walls with a public entrance is reduced to 10 ft. only in areas with parallel parking or drop-off zones.
- At private garage entries to residential uses, foundation base landscaping will be zero feet along the garages' respective building frontages.

Landscaping and Canopies in Parking Areas:

The following deviations are requested to landscaping in parking areas, in conjunction with the proposed parking plan:

- It is requested that Section 11-33-4-B-7 be modified to allow one landscape diamond per 4 parking spaces, which shall include at least 1 tree and 3 shrubs. The diamond planter shall be a minimum of 25 square feet and shall contain a minimum clear landscape areas dimension of 5 feet.
- Regarding Sections 11-33-4-B, parking canopies between landscape islands are permitted to exceed the maximum 15-parking space length in Areas B & D (see Figure 10 – Site Planning Guidelines Figure). This area is less visible from public streets, and the site plan provides a shaded pedestrian route to the proposed buildings to benefit users of the site.
- A deviation to sub-section 11-33-4-B is requested that maintains the required landscape islands on both sides of a given canopy, but which reduces the width and area of those landscape islands from a minimum 24 ft. width (by 30 ft. length) to a minimum width of 8 ft. on average.

Landscaping of Undeveloped Properties:

It is requested that the GALLERY PARK PAD exclude Section 11-33-2.L to prevent visual and physical obstruction of proposed parking fields by unplanned landscaping solutions. However, the project will comply with all applicable dust control, grading, and drainage regulations.

The above deviations to parking landscaping as depicted on the proposed site plan are justified by specific enhanced design features and the nature of the site layout and shaded pedestrian pathways between the various site uses. The proposed site plan establishes enhanced landscaping along the Main Axis and the Mid-Axis. These two axes provide for both landscaping, hardscape amenities, pedestrian pathways, crossings and an overall design that will draw the viewer's attention to these attractive corridors. Further, the site plan and PAD Site Planning Guidelines require buildings to be adjacent to the drives, which again draws attention to the built-form and limits visibility into the remaining parking areas.

The intent for landscaped islands in the parking fields is to promote a more natural and vibrant pedestrian environment and to break-up the vast parking field. The project's garage parking and promotion of alternative modes of travel reduces the scale of the primary parking fields such that any negative effect is mitigated by the specific layout of the submitted site plan. The overall landscaping and pedestrian plans create the quality of environment sought for in the MZO.



h. Parking Standards

GALLERY PARK will apply the parking standards in the MZO, with the exception of the deviations provided in this sub-section for parking counts, the size of parking fields, and parking canopies. Proposed parking space deviations are supported by the proposed development’s Shared Parking Model as discussed in the project’s parking study. The tables below summarize the parking standards.

Table 3 – Parking Data

Uses	Area (SF)	No. of Rooms/Keys	Parking	
			MZO	Proposed*
Commercial			Spaces (Ratio)	
Restaurant	51,000		730 (@13.33/1000 for indoor & 5/1000 for outdoor space)	
Restaurant (With Drive-Thru)	18,500		198 (@10/1000 for indoor & 5/1000 for outdoor space)	
Retail	39,450		105 (@2.66/1000)	
Theater	47,500		467 (for 35,000 s.f. assembly space @75% eff.) (@13.33/1000 s.f. Assembly Space)	
Hotel	149,900	280 Keys	280 (@1/Key)	
Office	348,000		928 (@2.66/1000)	
Residential				
Apartments	369,920	420 Units	882 (@ 2.1/DU)	
Condos/lofts	79,600	39 Units	82 (@2.1/DU)	
Subtotal (Commercial)	654,350		2,708	1,800
Subtotal (Residential)	449,520		964	690 (@1.5/DU)
Total	1,103,870		3,672	2,490
Total Landscape Area	303,980			

Table 4 – Shared Parking Model

Commercial (1,800 Spaces)	
Structured	592
Surface	1,208
Residential (690 Spaces @1.5/D.U.)	
Structured	540
Garage	40
Surface	110
Total	2,490



Parking Deviations:

- As shown in the above Table 3, the proposed parking for GALLERY PARK is based on 1,800 spaces for nonresidential uses and 1.5 spaces per dwelling unit for residential uses (total 690 spaces). This Shared Parking Model is supported by data from a parking study performed by CivTech in Appendix 1. The Shared Parking Model's intent is to enable parking spaces on any given lot to serve the overall GALLERY PARK development generally, not only the discrete buildings on the given lot.
- Deviations are also requested to Section 11-32-4-G-2 to allow parking fields of more than 200 spaces east of the Mid-Axis, given the established pedestrian corridors along the Mid-Axis and other areas. These connections offer shaded pathways from parking areas to the various buildings on site.
- The applicant requests a minor deviation to the covered parking space requirement for offices uses. The related Section 11-32-3D-3 requires that a minimum of 1 parking space be provided for each office or suite plus 1 additional space. While the proposed parking plan will likely exceed this covered parking requirement, the site plan implements a modified standard that provides 1 shaded space per 1,000 sq. ft. of office space.
- Regarding project phasing, unless the developer provides a Shared Parking Model encompassing the ultimate Phase 1 uses that otherwise justifies a lower parking ratio, Phase 1 shall self-park based on the MZO. Parking for subsequent phases of the development will incrementally implement the Shared Parking Model as outlined in this application's parking plan and associated parking study.

The proposed parking is justified by the property's Shared Parking Model. The premise of the parking model is that the parking demand of diverse uses that do not have conflicting peak operating hours can reduce the number of parking spaces actually demanded in a mixed use development. GALLERY PARK's parking plan includes appropriate parking count deviations given the proximity of residential to various commercial uses and its pedestrian-oriented plan.

Residential uses typically have peak parking hours in the evenings and night given commutes to employment and educational purposes during the day. In contrast, commercial uses generally have steady peak hours during the day and during periods of morning and afternoon commutes. More specifically, restaurants, hotels, theaters/commercial entertainment uses commonly have peak hours on evenings and weekends. On the proposed development plan, the commercial peak hours generally complement the parking demand for the residential uses.

Pedestrian access and multiple modes of transportation also contribute to support GALLERY PARK's parking plan. The close proximity of the residential uses to the non-residential uses creates a sort of built-in proximate market for the commercial aspect of the development. This in turn decreases demand for commercial parking. Additionally, the plaza located in front of the movie theater creates space for ride-sharing drop-offs and waiting areas in proximity to services such as Uber or Lyft, which reduces dependency on the traditional parking model that is based on the assumption that site visitors will access the site from their individual vehicles.



As evidence justifying GALLERY PARK's parking deviations, a detailed parking study, prepared by CivTech Inc., provides the background, detail and findings necessary to support both a reduction in parking to allow for shared parking within the mixed use development of GALLERY PARK. That study confirms that the different peak demand for parking for the commercial and residential uses lends to an overall surplus of parking. The study applies the base multipliers for the various uses published by the industry-recognized Institute of Traffic Engineers. In the conclusions included in the Appendix, the study notes that accepted baseline numbers indicate that there are excess parking spaces during the day while both commercial and residential uses are over parked. During the evening time and night, there are excess spaces given the abundance of commercial spaces during a time when residential areas are under parked.

The study concludes that the parking plan exceeds the combined peak demand during both normal office hours (8:00 AM – 5:00 PM) and the evening hours of 5:00 PM – 8:00 AM. In other words, ample parking would be available at all times of the day assuming shared parking is utilized.

i. Truck Docks, Loading, and Services Areas

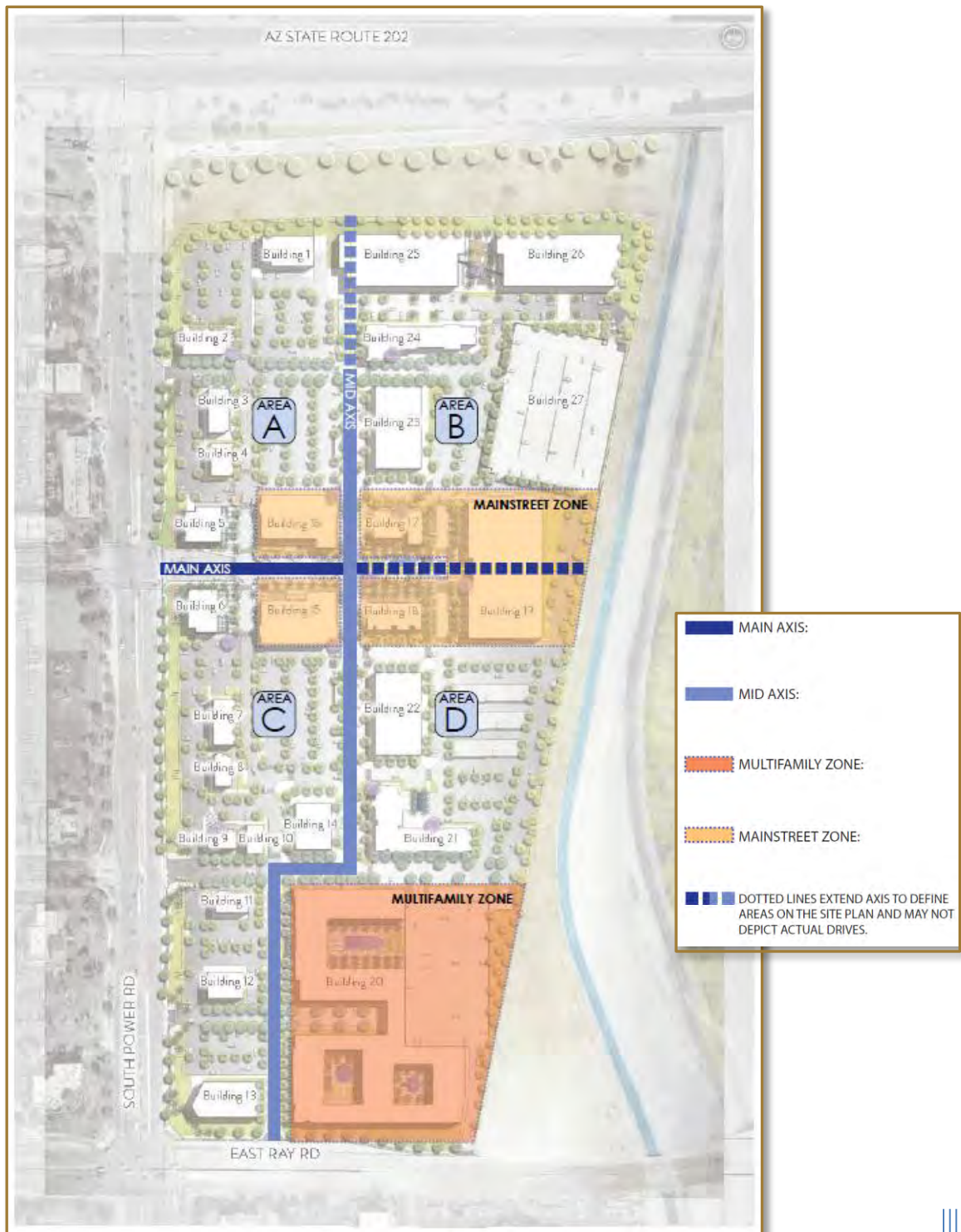
GALLERY PARK complies with MZO Section 11-30-13, which requires measures to minimize the impact of loading areas. Given the site's limited size of retail uses and the sensitively designed mixed use environment, the site plan does not anticipate significant truck docks and service areas. However, a deviation to Section 11-30-13 is requested to eliminate the 50-foot distance to residences and dock screening requirements that are typically relating to back of house loading docks adjoining the rear yards of single-family residences. The proximity of residential lofts to the ground level commercial uses along the Main Axis is characteristic of the vertical mixed use environment. Residents occupying those spaces would naturally expect there to be a limited amount of loading to occur for deliveries to adjacent non-residential uses.



7. Site Planning Guidelines

GALLERY PARK incorporates the following Site Planning Guidelines to implement efficient and orderly growth on the subject property. It is proposed that all future submittals be reviewed through the Planning Administrative Site Plan Review application to comply with these guidelines, the Design Guidelines, and landscape plan submitted with this application. The illustration that follows denotes specific elements that are integral aspects of the site plan.

Figure 10 – Site Planning Guidelines Figure



Standards for the Axes, Areas and Zones are as follows:

MAIN AXIS:

- This Main Axis shall align with the commercial center entry west of Power Road and serves as GALLERY PARK's main entry with pedestrian-oriented design features consistent with the development standards, Design Guidelines, this application's landscape plan, and standards below.
- Buildings must directly front each side (north and south) of the Main Axis.
- Angled on-street parking is encouraged in order to activate the Main Axis with pedestrians. Primary parking fields will be positioned behind the buildings located on the Main Axis.
- Pedestrian activity will be encouraged by locating patios, courtyards, water features, pedestrian seating, landscaping, and/or pedestrian sidewalks between the buildings and the angled parking/driveway.
- Building forms may include vertical mixed use with restaurants, retail, and commercial uses on the ground floor and residential, office, hotel, or other Limited Commercial (LC) uses on the floors above.
- Retail, Restaurant, Commercial Recreation, or Entertainment commercial uses are required along the ground floor of buildings on the Main Axis for a minimum depth of 30 feet ("Ground Floor Commercial").
- Ground floor transparency is required for those portions of buildings directly fronting the Main Axis (Buildings located on Lots 5 and 6 along Power Road are excluded).
- Residential uses are permitted at the ground level if located beyond the Ground Floor Commercial space. Residential, Hotel, Office, Entertainment or other Limited Commercial (LC) uses on upper floors are allowed a maximum width of 20 feet of ground-floor entry frontage along the Main Axis.
- The east end of the drive that aligns with the Main Axis may terminate at an outdoor park or a building.
- If one or more buildings are located at the east terminus of the Main Axis, Ground Floor Commercial shall be required at the base of the west side of the building(s) for the width of the Main Axis (equal to the distance between the face of the buildings north and south of the Main Axis adjacent to terminus building). Hotel and Office uses are allowed on any other portion of the terminus building's ground floor.

MID AXIS

- This Mid Axis will serve as GALLERY PARK's primary north/south driveway.
- Buildings located on the west portions of Areas B and D ("Mid Buildings") shall be located directly adjacent to the east side of the Mid Axis.
- A continuous pedestrian path with shade trees shall run along one side of the Mid Axis.
- The south end of the Mid Axis will allow access to and from Ray Road.
- Although the front entry of Mid Buildings are allowed on the north, south, or west sides of the Mid Buildings, in all instances, the west face of the Mid Buildings shall be designed to promote transparency and present an architecturally appealing aesthetic.



AREA A

- Primarily Restaurant, Retail, and Commercial Pads shall be located along Power Road.
- Except for those uses prohibited within AOA-2, all Limited Commercial (LC) uses are allowed including those uses allowed by CUP under this application.
- Residential uses are allowed within the Mainstreet Zone portion of Area A.
- Solar generating canopies are allowed in Area A.

AREA B

- 50% or more of Commercial Office (building, parking, and associated landscaping) uses will have frontage along the north property line.
- Parking structures are allowed, but shall be located primarily along the east property line.
- Covered carport canopies are allowed, including solar generating canopies.
- Except for those uses prohibited within AOA-1 and AOA-2, all Limited Commercial (LC) uses are allowed including those uses allowed by CUP under this application.
- Residential uses are allowed within the Mainstreet Zone portion of Area B.

AREA C

- Primarily Restaurant, Retail, and Commercial Pads shall be located along Power Road.
- Except for those uses prohibited within AOA-2, all Limited Commercial (LC) uses are allowed including those uses allowed by CUP under this application.
- Solar-generating covered canopies are allowed in Area C.

AREA D

- Parking structures are allowed, but shall be located primarily along east property line.
- Covered carport canopies are allowed, including solar generating canopies.
- Except for those uses prohibited within AOA-2, all Limited Commercial (LC) uses are allowed, including those uses allowed by CUP under this application.
- Residential uses are allowed within the Multifamily Zone portions of Area D.

MAINSTREET ZONE

- Buildings located within this zone shall conform to Main Axis guidelines.
- Except for those uses prohibited within AOA-2, all LC-Limited Commercial uses are allowed, including those uses allowed by CUP under this application.
- Residential uses on the property are limited to the Mainstreet and Multifamily Zones.

MULTIFAMILY ZONE

- Buildings will have frontage along at least 50% of each of the north, south and west boundaries of this zone.
- The leasing office shall be oriented along the Mid Axis.



- A pedestrian entry shall be provided along the north boundary in close alignment with the Mid Axis.
- Direct vehicular access may be provided from Ray Road along the south boundary of this zone.
- Residential uses on the property are limited to the Mainstreet and Multifamily Zones.
- All Limited Commercial (LC) uses are allowed within this zone.



8. Design Guidelines

The proposed development will incorporate the Design Guidelines attached in the appendix. The Design Guidelines inform the design of project elements, including but not limited to architectural design, colors and materials, landscaping, hardscape design, accessories, and lighting.

9. Planned Area Development (PAD) Analysis

The illustrative site plan together with the Design Guidelines relating to GALLERY PARK demonstrate compliance with the criteria for the utilization of the PAD in the zoning process as established in MZO Section 11-22-1. GALLERY PARK exceeds the expectation of the intent for PAD Districts with a creative, high-quality development. GALLERY PARK complies with the zoning ordinance requirement that the property exceed 5 acres, and the PAD's Development Standards and Site Planning Guidelines comply with Section 11-22-4, which allows planned options for specified land uses.

Furthermore, as described below, GALLERY PARK either meets or exceeds the expectation of the intent for Planned Area Development Overlay (PAD), as follows:



- A. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;

GALLERY PARK's Main Axis and Mid Axis, with pedestrian network, landscaped plaza along the Main Axis, and open space amenities in the multi-family portion of the development will offer local residents and visitors a high-quality environment. The entries, landscape buffers, and onsite amenities are integrated and of appropriate scale for the uses and the neighborhood and will be held in ownership by the property owner.

- B. Options for the design and use of private or public streets;

GALLERY Park does not have private or public streets, but the private driveways are designed to create an interconnected system to promote efficient and safe pedestrian and vehicular circulation. The comparatively smaller residential areas compared to traditional residential communities do not result in the need for a system of public or private streets.

- C. Preservation of significant aspects of the natural character of the land;

The property has historically been used for agricultural purposes, which typically does not lend itself for preservation in the traditional sense. However, the project has been designed with tree-lined pathways and a substantial amount of open space and amenities that create a livable environment. GALLERY PARK has also included plantings of specific trees and shrubs along the east property line indicative of what historically grew along canals during the City's earlier agrarian era.

- D. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;

Mixed use developments by nature utilize land and space more efficiently than traditional use-defined development patterns. GALLERY PARK provides a site design that brings residences, amenities, and services into close proximity. The proposed parking structure and complimentary uses in terms of peak parking demand and viable live-work-recreate environments satisfy this zoning criteria's goal to promote a more sustainable environment.

- E. Sustainable property owners' associations;

The functionality and integrated relationship among the mixed use elements of GALLERY PARK will be governed by a comprehensive declaration of commercial restrictions, easements, and agreements ("Declaration").

- F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions;

See above item E.



- G. Single or multiple land use activities organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.

GALLERY PARK includes uses that function in a synergistic manner to create a regional destination. The well-conceived site plan that addresses the unique needs of both vertical and horizontal mixed use destination centers. For example, the site plan limits residential uses to the Main Axis and singular area at the site's southeast corner, and the northeast portion of the site will allow for office, college/trade schools, and related uses. GALLERY PARK's centerpiece Main Street area will have a central amenity park setting surrounded by vertical mixed use commercial and residential buildings, and a movie theater/entertainment destination. To ensure the integrity of the organization of the proposed uses, GALLERY PARK has established Site Planning Guidelines and Design Guidelines that will add value to the site and surrounding area.



10. General Plan Conformance

As noted previously, the GALLERY PARK PAD is fully consistent with the Mixed Use Activity Center of the Mesa 2040 General Plan. This character area contemplates developments of more than 25 acres, including power centers and lifestyle centers designed to attract customers from a large radius. GALLERY PARK's main street themed Main Axis links to the adjacent retail uses and offers a thoughtfully designed mix of commercial, employment, and residential uses that provides greater balance and ability to draw people from neighboring municipalities.

As to GALLERY PARK's residential districts, the General Plan's Mixed Use Activity District states: *"Neighborhoods are the foundation of communities and cities. To be a great city where people want to live, work and play, we need a variety of great neighborhoods."* The proposed development satisfies this objective by the carefully planned mix of uses offering employment, entertainment, services, and livable spaces within a single comprehensive site plan, with appropriate connections and transitions between uses.



Furthermore, the following characteristics and qualities of strong neighborhoods, as described in the City's General Plan for great neighborhoods, are utilized in GALLERY PARK's development proposal:

- *Safe, Clean and Healthy Living Environment*
 - *Maintenance of streets, sidewalks, street lighting, etc. to ensure roadways, paths and trails are safe; improve lighting where needed*
 - *Locate and design public spaces so that there is a high degree of natural surveillance*
 - *Provision of active outdoor open space for all ages, including pocket parks and other non-traditional neighborhood-based recreational facilities*
 - *Maintain attractive, well-kept public spaces in neighborhoods*

Addressing these points, GALLERY PARK's apartment and loft residential uses are an integral part of the overall development, will have an ownership association that will maintain the open space amenities and shared landscape, pedestrian, and parking areas. As such, this will provide for efficient management and maintenance by the common ownership and its successors. The mixed uses create a broad spectrum of tenants to support maintenance needs, and promotes additional incentive to maintain the site to ensure the property's condition remains at marketable levels for the retail and commercial uses. Moreover, natural surveillance of the shared community spaces and amenities are accomplished by buildings that are either facing or adjacent to the open space, accessways, and amenities.

- *Building Community and Fostering Social Interaction*
 - *Designing new developments with anchors or focal points, such as schools, parks or shopping areas that are designed and located to facilitate meetings and interactions*
 - *Providing pedestrian systems that link residents to neighborhood focal points to naturally bring people together*

GALLERY PARK's primary accessway with Main Street themes will include a significant active open space area that serves the residential lofts along the Main Axis. Open space amenities serving the apartment units at the site's southeast area will be linked to the Main Axis area, creating multiple focal points that promote outdoor experiences and gathering spaces for persons from a variety of circumstances.



- *Connectivity & Walkability*
 - *Block lengths developed consistent with the character area standards*
 - *Intersections developed consistent with the character area standards*
 - *Trees and shade provided along streets and pedestrian ways consistent with the character area standards in a way that does not interfere with night time lighting of the street, sidewalk and paths*
 - *Providing shade and comfortable places to stop along a street or trail*

As GALLERY PARK is not a traditional suburban neighborhood, block lengths are comparatively small compared to non-mixed use residential communities. The Main and Mid Axis offer efficient entries into the site and serve as the structure for shaded pathways between the different land uses. The residential spaces will be developed consistent with the nature of mixed use residential-commercial centers.

- *Neighborhood Character & Personality*
 - *Establishing a unique sense of place*
 - *Creating neighborhood boundaries and limiting through traffic into the neighborhoods*
 - *Street planting programs, signage treatments, or other such visual elements that can bring identity and recognition to a neighborhood.*

GALLERY PARK, as a mixed use commercial-residential community, adheres to the above principles by means of the Design Guidelines that promote a distinct and attractive design that incorporates architectural and landscape elements into a viable residential and commercial center. While GALLERY PARK is not a typical residential community with a hierarchy of public or private streets, the location of the plaza on the Main Axis and siting of the apartment use limits through traffic at the residential locations. The design standards set the stage for a sign program that will contribute to the property's unique design as well as facilitate wayfinding to the respective uses.

- *Quality Design & Development*
 - *Unique public or community spaces that provide a focal point to draw people together*
 - *Maintaining a pedestrian scale and attractiveness along streets*
 - *Unique public or community spaces that provide a focal point to draw people together*
 - *Maintaining a pedestrian scale and attractiveness along streets*



As previously stated, the design of the GALLERY PARK will offer a beautiful community with a distinct identity, in conjunction with the community spaces that are centrally located at both areas where residential uses are permitted, which offers amenities and outdoor spaces for the residential occupants.

11. Conflicts

The Mesa Zoning Ordinance controls the development of the subject property, as modified by the following hierarchy of documents and provisions:

1. Narrative
2. Site Planning Guidelines
3. Design Guidelines
4. Site Plan



Council Use Permits

This section discusses the requests for Council Use Permits and how the proposed uses comply with the review criteria for these permits.

1. Council Use Permit for Multiple Residence Uses in LC Zoning

Table 11-6-2 and Section 11-31-31 of the Mesa Zoning Ordinance outline criteria in which a Council Use Permit (CUP) is required to allow residential uses in commercial zoning. The intent is to provide for enhanced City review to preserve the integrity of the commercial uses and the residential use's compatibility in a mixed-use development. GALLERY PARK is a mixed use development with both residential and nonresidential uses, and as discussed in this section, it complies with the CUP requirements for residential uses.

The CUP to allow for Multiple Residence uses is limited to the areas on the Gallery Park site plan comprising lots 15, 16, and 20, which will preserve the predominantly commercial nature of the overall site. In the MainStreet Zone, lots 15 and 16 require a CUP because the total gross floor area of nonresidential uses will be below 40 percent. This reason for this is because multiple

stories of upper-level residential lofts/condos are permitted above the ground-floor commercial uses.

On lot 20, the proposed multi-residence rental units require a CUP because that lot will exceed a maximum density of 25 du/acre. Also, the apartment parcel requires a CUP because it is a singular residential product; and as such, its gross area has less than 40% of non-residential uses and has less than 65% of ground-floor commercial space. The proposed density on lot 20 is 66 du/acre, which will allow for the proposed 420 units shown on the site plan. This CUP is warranted given the apartments' integration into the overall mixed-use development for GALLERY PARK.

GALLERY PARK complies with the CUP criteria for multi-residence uses as follows:

- a. Information that indicates compliance with the General Plan, related policies, and surrounding uses.

Previous sections of this narrative indicate how GALLERY PARK's mixed use development form is consistent with the Mesa General Plan's Mixed Use Activity District and the "Inner Loop District" in the Gateway Strategic Development Framework Plan. GALLERY PARK is also appropriately planned with respect to the nearby airport, because the PAD is limited to uses that are not negatively affected by the airport's proximity. Specifically, the proposed intensity of residential uses, the mixed use integration, and design standards commit the site to uses that are compatible with the intent of the Airport Overlay.

Further, GALLERY PARK is consistent with the retail uses across Power Rd. and Ray Rd. and commercial/warehouse uses north of the freeway, because it provides complimentary retail establishments, office uses, and new residential uses that will further support the surrounding businesses. The proposed development is compatible with the LI zoning to the east, and the canal property creates a general buffer to that site.

The applicant received a letter dated November 1, 2018 from Anthony Bianchi, Planning Manager for the Phoenix-Mesa Gateway Airport Authority. This letter includes recommendations relating to the proposed development, including airport disclosures, aviation easements, noise attenuation, property maintenance, and other FAA submittal requirements. The proposed development will address all of the comments in Gateway Airport's letter.

- b. A plan of operation is required to ensure compliance with city regulations.

This narrative and its description of the ownership, property maintenance, and future review processes comply with that standard. Project operations will comply with all applicable zoning, building, and fire safety regulations and FAA requirements. The owner will record detailed standards in the Declaration that will meet or exceed City regulations.



- c. A “good neighbor” policy promotes “ongoing compatibility with adjacent uses” and “assure” viability of the commercial uses.

Information provided herein addresses this requirement. Generally, Good neighbor policies are aimed at providing a program, or medium, for coordination and resolution of specified negative effects a project may have on surrounding uses. In this case, it has been determined that GALLERY PARK by nature is compatible with the surrounding commercial and employment uses. This narrative has established that GALLERY PARK is intentional in its arrangement of compatible mixed use commercial, employment, college, and residential land uses. The site plan has been designed to be sensitive to each of these purposes in terms of buffering, pedestrian connections, shared open space amenities, and limited uses incompatible with proximity to the airport.

GALLERY PARK will exceed the requirements to ensure on-going compatibility with the respective uses on site. The property’s Declaration that runs with the land will include specific terms that will address the relationship between the residential, retail, commercial, entertainment, and employment uses on site. As to procedures, the Declaration will create a review committee that will be established to ensure compliance with the property’s Site Planning Guidelines, Design Guidelines, and the Declaration.

Furthermore, the project will comply with the Airport Overlay requirement, which will provide public notice of the potential impacts on the community by the nearby airport. Tenants and purchasers will be given contact information of property management.

- d. Evidence and documentation demonstrating substantial conformance with all current City development standards, including, but not limited to, landscaping, parking, screen walls, signage, and design guidelines.

GALLERY PARK complies with these Mesa Zoning Ordinance standards except as provided in the previously discussed deviations, Site Planning Guidelines, and Design Standards. These documents demonstrate compliance with, or anticipate PAD approval for deviations from, landscaping, parking, screen walls, signage, lighting and the development standards in general. Future submittals for the sign package will reflect the design themes submitted herewith and will further the intents of the zoning ordinance.

2. Council Use Permit for Uses in the Airfield Overlay Zones

Pursuant to MZO Section 11-6-2 Use Table, a CUP is required for some of GALLERY PARK’s proposed uses in the AOA-1 and/or AOA-2 overflight area. Specifically, the following CUP Requests are included here:



- Multiple Residence uses in the AOA-2 zone
- Commercial Entertainment use in the AOA-2 overlay
- Hotels in the AOA- 1 and AOA-2 overlays
- Colleges and Commercial Trade Schools in the AOA-1 and AOA-2 overlays

The requirements by which CUP applications are reviewed are listed in MZO Section 11-70-6-D:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City; and
4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

Typically, projects requiring a CUP are stand alone, and generally not integrated into an overall mixed use (or master planned) development. In this instance, because the proposed lofts, apartments, movie theater/commercial entertainment use, hotels, and college/commercial trade schools are all integral parts of the mixed use environment created by GALLERY PARK, the criteria listed in MZO Section 11-70-6-D is satisfied.

1. As to item 1, the various uses comply with the general plan and related policies as explained previously.
2. Regarding item 2, the operations of each of the respective uses are appropriate for the proposed LC zoning because only uses permitted in the underlying zoning district are proposed. Residential uses, as submitted and as discussed previously, comply with the requirements for commercial districts.
3. Addressing item 3, the proposed improvements will not be detrimental, but complimentary to one to another as explained previously. To reaffirm here, the PAD's development standards, Site Planning Guidelines, and Design Standards establish structure that will govern and protect the permitted uses for each component of the site.

A unique component of GALLERY PARK is the "Main Street" which leads to the park and entertainment/commercial use at the heart of the project. Main Street is a vertical mixed use element of the project that will have residential lofts on upper levels above first floor commercial uses. This particular element, along with the park



and entertainment/commercial use, lies within the portion of the property that is in the AOA-2 Overflight Area. Pursuant to MZO Section 11-6-2 Use Table, a CUP is required for residential use in the AOA-2 overflight area. Typically, projects requiring a CUP are stand alone, and generally not integrated into an overall mixed use (or master planned) development. In this instance, because the residential lofts are an integral part of the mixed use environment created by GALLERY PARK, they will not be detrimental, but complimentary to the commercial uses in the Main Street area.

- The proposed multiple residence apartments also will benefit, not injure, the adjacent nonresidential uses, nor will it be negatively impacted by the same. The apartments are located several hundred feet from the Main Axis, which will buffer any spill-over effects from that more active environment. The apartment's proximity to the other nonresidential uses, such as the hotel are mitigated by the fact that the hotel is a similar use, and the separation is comparable to that provided elsewhere.
- To further address the project's proximity to the Mesa-Phoenix Gateway Airport, the applicant will respond to the comments in the previously mentioned November 1, 2018 letter from Anthony Bianchi, Phoenix-Mesa Gateway Airport Authority, by recording the applicable notices and avigation easements, providing noise attenuation, and responding to FAA requirements.
- The proposed Commercial Entertainment use is compatible with the area of high activity along the Main Axis at the heart of GALLERY PARK. It is appropriately located and buffered from the office and apartment residential uses by several hundreds of feet, as well as secondary commercial buildings, parking areas, and tree-lined pathways. The vehicular access for the Commercial Entertainment use along the Main Axis is aligned with the main entrance for the retail west of Power Road, which helps reduce traffic conflicts.
- Relating to the hotels, their locations are highly compatible with the surrounding apartments and commercial uses. They are a permitted use under LC because of their inherent ability to locate near and within destination retail, commercial, and employment centers. The property's proximity to the freeway and regional airport lends to the visibility and viability required to make hotels successful.
- The request for colleges and commercial trade schools is included because of the potential for future involvement with the nearby ASU Polytechnic Campus or in the event an independent trade school were to locate on the site. Such uses are compatible with office and retail environments, and the nearby residential uses will offer housing within walking distance to classes. Such schools would fit seamlessly in the proposed office spaces given the comparable scope of tenant improvements and activities occurring therein



that will not create undue burdens on office/employment uses designed for the multi-story office buildings on the site.

4. Regarding item 4, there are adequate utilities, public services, and infrastructure to support the proposed project.

As touched on previously, the intent of the Airfield Overlay District is to carefully designate and design the permitted uses in overflight areas to minimize exposure to hazards, provide public notice, and encourage development compatible with these uses (MZO § 11-19-1). The GALLERY PARK PAD incorporates the LC zoning permitted uses table that was recently updated to reflect amendments to flight areas, some of which were reduced as a result of quieter aircraft and more efficient flight patterns. The permitted uses table allows residential, commercial entertainment, hotels, colleges, and trade schools with a council use permit, subject to compliance with the criteria explained herein, which means careful consideration has been made to permit these uses in certain circumstances.

Notably, GALLERY PARK's siting of the uses that requires special consideration was carefully exercised. The uses are arranged to minimize effects of locating within an AOA-1 or AOA-2 overflight area. For example, the multi-family apartments encroach only slightly in the AOA-2 area—they are by-and-large located in the AOA-3 flight area, and experience has shown that multi-family residential uses are compatible with these zones, and have satisfactorily occurred for quite some time at many locations across the Metro-Phoenix area. The lofts are located in the AOA-2 area. These lofts are located in a mixed use environment that is compatible with that overflight area, thus creating an expectation for the minimal effects that this form of development brings.

The Commercial Entertainment use is one of the most suited for the AOA-2 overlay where it is proposed. The high level of activity associated with this use lends well to its location on the site.

The proposed hotels, colleges, and commercial trade schools are also compatible with the AOA-1 and AOA-2 areas where they are proposed. A majority of the proposed hotel space is located within the subject property's AOA-2 area. Hotels are frequently in areas nearby airports, and are often on airport grounds themselves that exceed the scale of the Phoenix-Mesa Gateway Airport. Typically, hotel brands located proximate to airports include noise attenuation features in their design. At a minimum, the thickness of windows and the typical design preventing opening them contributes to noise mitigation.

Similarly, in this case the Arizona State University and trade school campuses are located at the nearby Phoenix-Mesa Gateway Airport, demonstrating effective compatibility. Schools offering educational services of similar subject matter likewise will be compatible being located in the AOA-1 and AOA-2 flight areas.

Moreover, the proposed development will utilize high quality construction materials that will comply with the City of Mesa building codes, including provisions that have noise attenuation qualities.





Site Plan Review: Use & Configuration Flexibility

The GALLERY PARK Site plan will meet or exceed MZO Standards, Site Planning Guidelines, and Design Guidelines, with the exception of the heretofore mentioned deviations.

With the approval of the GALLERY PARK PAD, Site Planning Guidelines, and Design Guidelines, any future design reviews for site plans within the project will not be required to proceed to the Site Plan Review public hearing, but will be treated as a modification and considered through the City's administrative Site Plan review process.

As the development of GALLERY PARK evolves over time, it is possible that certain buildings shown on the site plan may develop with uses allowed in the LC-AF PAD zoning district and not specifically referenced on the site plan (e.g., Building 19, which is currently shown as a theater, and potentially omitting Building 14, currently shown as retail). It is also possible that uses designated on certain lots may move to other locations of the site plan. As long as the project develops in general conformance with the intent of the Mesa Zoning Ordinance, LC-AF PAD zoning, Site Planning Guidelines, and Design Guidelines approved for this project, the Developer shall have flexibility to change specific building uses and configurations, including respective changes to the landscape plan, under the City's administrative Site Plan Review.

The following guidelines are provided to help determine whether a modification is minor and in general conformance with the entitlement approvals; or a major modification – one that requires the full Site Plan Review public hearing process:

1. Minor Site Plan Modifications that are deemed in general conformance with the Site Plan are those that comply with the approved GALLERY PARK LC-AF-PAD zoning, Site Plan Guidelines, and Design Guidelines; and include, without limitation, the following:
 - a. Changes that eliminate or reduce the size of buildings shown on the approved site plan;
 - b. Modifications that move buildings shown on the approved plans to a portion of a site where such a use is permitted;
 - c. Adding vertical mixed use residential units to the limited areas on the site plan designated for residential uses, which are those lots within the Mainstreet Zone immediately adjacent to the Main Axis;

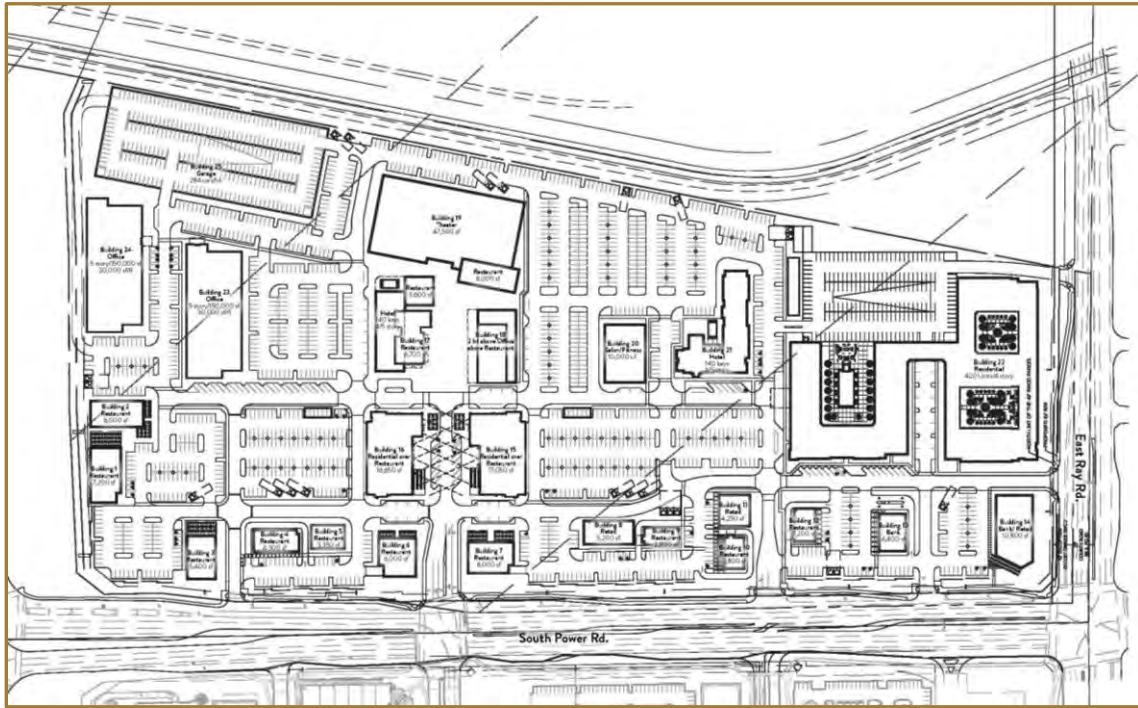


- d. Nonresidential additions or new buildings not exceeding 10% of the overall site's total non-residential gross building square feet;
 - e. If actual parking counts exceed the totals under this approved PAD and Site Plan Review, that parking can be used to justify the addition of new nonresidential building square footage consistent with MZO parking standards for the respective increase in parking spaces which can exceed limitation set forth in 1d above;
 - f. Minor adjustments to the alignment of the Mid Axis's centerline by not more than 10% of the subject property's average width between the east and west property lines; and
 - g. Minor adjustment to the alignment of the Main Axis's centerline by no more than 20 feet.
2. Major Site Plan Modifications that are not deemed to be in general conformance with the Site Plan and which would require subsequent Site Plan Review approval, include the following:
- a. Those changes not in substantial compliance with the approved GALLERY PARK LC-AF-PAD zoning, Site Plan Guidelines, and Design Guidelines;
 - b. Those changes not listed in the heretofore mentioned in item 1 of Site Plan Review: Use & Configuration Flexibility;
 - c. Modifications that expand the areas designated for residential uses beyond those shown in the Mainstreet and Multifamily Zones of the above Site Plan Guidelines Figure;
 - d. Increases to non-residential building areas by more than 10% of the overall site's total non-residential gross building square feet, or more than 10% if there is excess parking as heretofore provided in item 1e of Site Plan Review: Use & Configuration Flexibility;
 - e. Any adjustment to the Mid Axis or Major Axis in excess of those described in the heretofore mentioned in item 1; and
 - f. Any other adjustments that do not satisfy the requirements of Minor Site Plan Modifications as outlined in item 1 above.

An example of a site plan that would be deemed a Minor Modification in general conformance includes the conceptual site plan option in the figure below. As indicated above, this or any future site plan submittal that the Planning Director finds is not in substantial conformance with this application will proceed to the Planning and Zoning Board for their recommendation to the Planning Director consistent with the applicable processes under the Mesa Zoning Ordinance.



Figure 11 – Alternative Site Plan Example in General Conformance with Site Plan Review



Design Review

The LC-AF PAD zoning district arises through the application of the General Plan, Mesa Gateway Strategic Development Plan, LC zoning, and PAD planning tools. The applicant specifically requests that the PAD, Site Planning Guidelines herein, and the Design Review Guidelines in the appendix be presented to the Design Review Board for review concomitantly with the rezoning request.

With the approval of the GALLERY PARK PAD, Site Planning Guidelines, and Design Guidelines, any future design reviews for buildings and site plans within the project will not be required to proceed to the Design Review public hearing, but will be analyzed and considered through the City's administrative design review process.

For future development proposals, design expectations and standards will initially be reviewed and approved by GALLERY PARK commercial review procedures as provided in the Declaration that is not subject to City review. Then, upon submittal to the City for administrative design review, City Staff can confidently evaluate the requests based upon the GALLERY PARK commercial reviewer's findings and consider the requests based on the City-approved PAD, Site Planning Guidelines, and Design Guidelines.

This process still affords the opportunity for the Planning Director to review and approve the plans. If plans are found to not be in substantial conformance with the entitlement approvals, the City could refer the requests to the Design Review Board for its review and comment and to provide input that will inform the Planning Director's ultimate decision.



Preliminary Plat

The Preliminary Plat for GALLERY PARK is submitted in conjunction with the zoning and design review approvals. Engineering reports and associated documents will be submitted and reviewed by the City at the time of Final Plat approval.

Appendix

- 1) CivTech Inc. - Parking Study for Gallery Park
- 2) Design Guidelines
- 3) Site Plan
- 4) Landscape Plan



Site Summary	
Gross Acreage	57.752 Acres (2,515,669 S.F.)
Net Acreage	40.227 Acres (1,752,278 S.F.)
Existing Zoning	A.D. 2
Proposed Zoning	LC (Limited Commercial), A.F. (Airfield Overlay), PAD

Area/Parking Tabulations				
Uses	Area (SF)	No. of Rooms/Keys	Parking	
			MZO	Proposed*
Commercial Restaurant	51,000		730 (@13.33/1000 for indoor & 5/1000 for outdoor space)	
Restaurant (With Drive-Thru)	18,500		198 (@10/1000 for indoor & 5/1000 for outdoor space)	
Retail	39,450		105 (@2.66/1000)	
Theater	47,500		467 (for 35,000 s.f. assembly space @75% eff.) @13.33/1000 s.f. Assembly Space)	
Hotel	149,900	280 Keys	280 (@1/Key)	
Office	348,000		928 (@2.66/1000)	
Residential				
Apartments	369,920	420 Units	882 (@ 2.1/DU)	
Condos	79,600	39 Units	82 (@2.1/DU)	
Subtotal (Commercial)	654,350		2,708	1,800
Subtotal (Residential)	449,520		964	690
Total	1,103,870		3,672	2,490
Total Landscape Area	303,980			

Proposed Parking* (Shared Parking Model)	
Commercial (1,800 Spaces)	
Structured Surface	592
Surface	1,208
Residential (690 Spaces @1.5/D.U.)	
Structured Garage Surface	540
Surface	40
Surface	110
Total	2,490

Building/Lot Data			
Lot No. (Land Use)	Area (SF)	Heights (Max. Allowed)	Lot Area
Building 1 (Restaurant)	7,000	40'	61,770.27 S.F. 1.42 AC.
Building 2 (Restaurant w/ Drive-Thru)	5,400	40'	54,563.10 S.F. 1.25 AC.
Building 3 (Restaurant w/ Drive-Thru)	4,300	35'	27,594.00 S.F. 0.63 AC.
Building 4 (Restaurant)	3,350	35'	18,405.84 S.F. 0.42 AC.
Building 5 (Restaurant)	6,000	40'	32,937.19 S.F. 0.76 AC.
Building 6 (Restaurant)	6,000	40'	38,175.26 S.F. 0.88 AC.
Building 7 (Retail)	5,200	35'	31,551.14 S.F. 0.72 AC.
Building 8 (Restaurant w/ Drive-Thru)	2,800	35'	27,017.51 S.F. 0.62 AC.
Building 9 (Restaurant w/ Drive-Thru)	2,800	35'	19,574.56 S.F. 0.45 AC.
Building 10 (Retail)	4,250	35'	13,742.20 S.F. 0.32 AC.
Building 11 (Restaurant w/ Drive-Thru)	3,200	35'	38,956.52 S.F. 0.89 AC.
Building 12 (Bank w/ Drive-Thru)	4,400	35'	35,172.81 S.F. 0.81 AC.
Building 13 (Retail)	10,800	40'	58,847.59 S.F. 1.35 AC.
Building 14 (Retail)	8,050	35'	54,501.70 S.F. 1.25 AC.
Building 15 (Condos over Commercial)	51,150	85'	75,919.43 S.F. 1.74 AC.
Building 16 (Condos over Commercial)	49,950	85'	100,404.48 S.F. 2.30 AC.
Building 17 (Restaurant)	6,700	85'	26,105.68 S.F. 0.60 AC.
Building 18 (Restaurant)	7,200	85'	27,712.67 S.F. 0.64 AC.
Building 19 (Theater)	47,500	85'	110,127.75 S.F. 2.53 AC.
Building 20 (Residential)	369,920	85'	278,142.02 S.F. 6.39 AC.
Building 21 (Hotel 1)	85,500	85'	95,283.35 S.F. 2.19 AC.
Building 22 (Office)	54,000	85'	131,152.59 S.F. 3.01 AC.
Building 23 (Office)	54,000	100'	78,261.65 S.F. 1.80 AC.
Building 24 (Hotel 2)	64,400	100'	49,554.32 S.F. 1.14 AC.
Building 25 (Office)	120,000	100'	70,495.30 S.F. 1.62 AC.
Building 26 (Office)	120,000	100'	80,354.84 S.F. 1.84 AC.
Building 27 (Parking)		100'	97,809.87 S.F. 2.25 AC.
Lot 28 (Park)			18,341.62 SF. 0.42 AC.
Total	1,103,870		1,752,275.29 S.F. 40.23 AC.

Date: JANUARY 24, 2019

Drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

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Project No. 318214

AS - 101
SITE PLAN

